

COMcheck Software Version COMcheck-Web
Envelope Compliance Certificate

Project Information
Energy Code: 2015 IECC
Project Title: Richfield Gym
Location: Richfield, Idaho
Climate Zone: 5b
Project Type: New Construction
Vertical Glazing / Wall Area: 1%
Construction Site: Owner/Agent: Designer/Contractor:

Additional Efficiency Package(s)
High efficiency HVAC. Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.

Building Area	Floor Area
1-Gymnasium - Nonresidential	18004

Envelope Assemblies	Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof: Metal Building, Standing Seam, Liner System with Thermal Breaks (d), [Bldg. Use 1 - Gymnasium]		18004	30.0	10.0	0.027	0.035
Floor: Unheated Slab-On-Grade, Horizontal with vertical 2 ft., [Bldg. Use 1 - Gymnasium] (c)		568	---	10.0	0.730	0.540
NORTH						
Ext. Wall: Metal Building Wall, Double Layer Mineral Fiber (outer layer compressed at girt), [Bldg. Use 1 - Gymnasium]		4692	30.0	10.0	0.090	0.052
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Gymnasium]		44	---	---	0.057	0.370
EAST						
Ext. Wall: Metal Building Wall, Double Layer Mineral Fiber (outer layer compressed at girt), [Bldg. Use 1 - Gymnasium]		2933	30.0	10.0	0.090	0.052
Door: - Perf. Specs.: Product ID 18076, SHGC 0.26, [Bldg. Use 1 - Gymnasium] (b)		42	---	---	0.430	0.770
Door: - Perf. Specs.: Product ID 18076, SHGC 0.26, [Bldg. Use 1 - Gymnasium] (b)		42	---	---	0.430	0.770
SOUTH						
Ext. Wall: Metal Building Wall, Double Layer Mineral Fiber (outer layer compressed at girt), [Bldg. Use 1 - Gymnasium]		4692	30.0	10.0	0.090	0.052
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Gymnasium]		21	---	---	0.057	0.370
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Gymnasium]		44	---	---	0.058	0.370
WEST						
Ext. Wall: Metal Building Wall, Double Layer Mineral Fiber (outer layer compressed at girt), [Bldg. Use 1 - Gymnasium]		2933	30.0	10.0	0.090	0.052
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Gymnasium]		21	---	---	0.057	0.370
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Gymnasium]		21	---	---	0.057	0.370

Project Title: Richfield Gym
Data filename: Report date: 04/26/19
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(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
(c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.
(d) Thermal spacer block with minimum R-3.5 must be installed above the putinbatt, and the roof deck secured to the purlins.

Envelope PASSES: Design 1% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version COMcheck-Web and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

MICHAEL SCHLAGER - AIT
Name - Title Signature Date 4-26-19

Code Summary

Project: Richfield 2018 Bond Projects - New Gym
Location: Richfield, Idaho
Architect: Design West Architects

Jurisdictional Authorities:

City of Richfield
180 W Lincoln Ave.
Richfield, Idaho 83349
Phone: (208) 487-2755
Contact: Pat Riley
Building Official

Applicable Requirements: International Building Code, 2015 edition
International Fire Code, 2015 edition
International Energy Conservation Code, 2015 edition
International Mechanical Code, 2012 edition
International Fuel & Gas Code, 2012 edition
Idaho State Plumbing Code, 2017 edition
National Electrical Code, 2017 edition

Construction type: II-B

Occupancy classes: A - Assembly Gymnasium

Fire Protection: Full NFPA 13 fire sprinkler system
IFC 2015 Fire Flow Requirements (Table B105.1(2))
Construction Type II-B 18,004 sf = 2,775 GPM x .25 (sprinkler reduction) = 687.5" with 2-hour duration, 1,000 GPM minimum per Table B105.2

Allowable Areas & Heights:

Allowable Areas / Heights: (Table 504.3, 504.4, 606.2):
Occupancy: 58,000 sf
Basic allowable Area (A-B-S): 58,000 sf
Basic allowable height (H-B-S): 75 feet

Increased Areas / Heights: (Section 506):

Area I
Allowable area per story (equation 5-1): $A_a = \frac{A_i}{14,500 \cdot 75} = \frac{58,000}{10,875} = 5,330$

Tabular area per floor from table 506.2: $A_a = 58,000$

Area increase for frontage (equation 5-5): $I_f = 75\%$

Building perimeter w/20' min. yard width: $F = 568'$

Building perimeter of entire building: $P = 568'$

Weighted average width of yards: $W = 30'$

Allowable Area (68,875) > Actual Area (18,004) = OKAY

Fire Restitive Requirements for Construction Components (table 601 and 602):

Type II-B
Component: E occupancy
Exterior bearing Walls: no rating
Exterior Non-Bearing Walls: no rating
Exterior Openings: Ref. Table 705.8
Interior bearing Walls: no rating
Interior Non-Bearing Walls: no rating
Structural Frame: no rating
Permanent Partitions: no rating
Shaft Enclosures: 1 hour

Floor & Floor/Ceilings: no rating
Roofs & Roof/Ceilings: no rating
Class "C" (table 1505.1)

Fire Walls (Section 706),
Table 706.4: N/A

Maximum Area of Exterior Wall Openings (table 705.8):
Separation distance greater than 30 feet, no limit on protected or unprotected wall openings.

Flame Spread Requirements for Construction Components (table 803.11):

Fully sprinkled building
Component: E occupancy
Vertical Exits & Passageways: B (flame spread 26-75)
Exit access corridors: C (flame spread 76-200)
Rooms & enclosed spaces: C (flame spread 76-200)

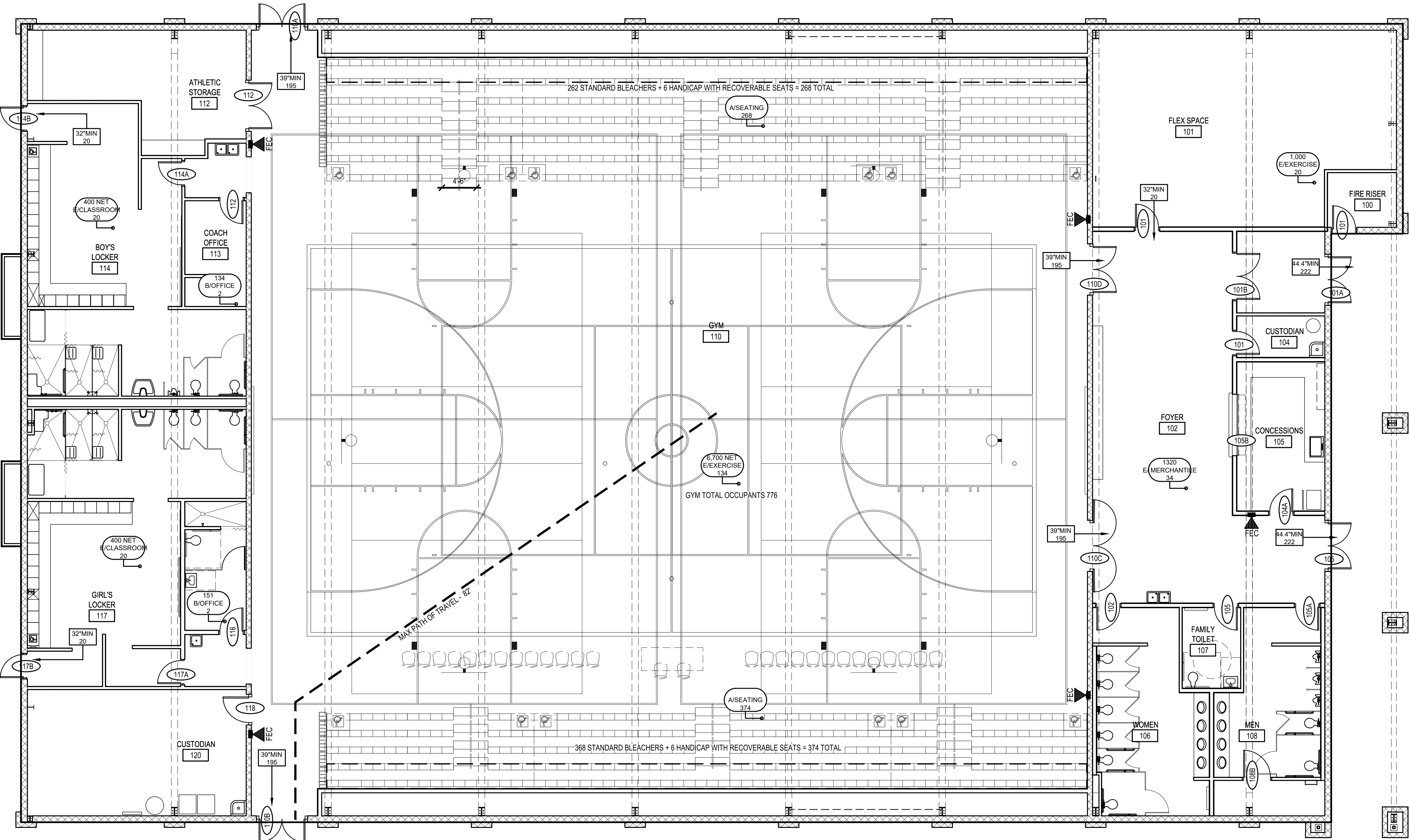
Occupant Loads and Exiting Requirements:

See Code Plan for exiting and occupant load information.
Notes: 1. Maximum exit access travel distance is 250'.
2. Maximum common path of egress travel is 75'.

Sanitation Systems & Plumbing Fixtures (table 2902.1):

E OCCUPANCY AREAS:

MAXIMUM GYM OCCUPANT LOAD	FIXTURES			
874 Occupants	Men 437 Occupants		Women 437 Occupants	
Assembly A-3	Required	Provided	Required	Provided
Water Closets:	4 water closets	4 w.c. 4 urinals	7 water closets	11 w.c.
Lavatories	4	7	4	9
Drinking Fountains	2 required		5 provided	
Service Sink	1 required		2 provided	



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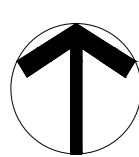
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A1 GYM CODE PLAN

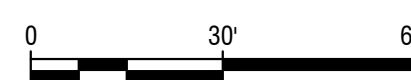
1/8" = 1'-0"

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GYM CODE PLAN
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G1.01



Existing Conditions - Demolition Plan

Horizontal Scale: 1" = 30'



Demolition Notes

- IN THE EVENT OF A DISCREPANCY, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL ENSURE THAT ALL DEMOLITION, REMOVAL, ABANDONMENT, ABATEMENT AND CLEARING AND SITE PREPARATION NECESSARY FOR PROPOSED IMPROVEMENTS ARE COMPLETED WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL REMOVE OR ABANDON ALL ITEMS INCIDENTAL TO THE ITEMS INDICATED.
- UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE, AND UTILITY COMPANY FACILITY MAPS. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA.
- RETAIN AND PROTECT EXISTING IMPROVEMENTS OUTSIDE WORK LIMIT BOUNDARY UNLESS MARKED FOR DEMOLITION. RETAIN AND PROTECT EXISTING UTILITIES AND ASSOCIATED STRUCTURES UNLESS MARKED FOR DEMOLITION.
- PRESERVE AND PROTECT ALL SURVEYING MONUMENTS AND PROPERTY CORNERS. COORDINATE WITH PROJECT SURVEYOR TO TIE AND REPLACE ALL MONUMENTS WHICH MUST BE OBLITERATED.
- CONTRACTORS SHALL BE RESPONSIBLE TO PROVIDE CONTINUOUS SEWER, WATER, POWER AND COMMUNICATION SERVICE TO ALL EXISTING BUILDINGS DURING THE COURSE OF CONSTRUCTION.
- DEMOLITION AND CONSTRUCTION SHALL BE COORDINATED AS TO NOT INTERRUPT THE USE OF EXISTING FACILITIES. IF AN INTERRUPTION IS REQUIRED, THE CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- REMOVE ALL PLANT MATERIAL: SOD, ROOTS, WEEDS, ROCKS, FABRIC, AND FOREIGN MATERIAL ON THE SURFACE IN THE LANDSCAPE AREAS REQUIRING REMOVAL.
- CONTRACTOR SHALL REPORT TO THE ENGINEER/LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.

Tree Protection Notes

- PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON SITE. (NOTE: CRITICAL ROOT ZONE IS THE AREA DIRECTLY BELOW THE DRIP LINE OF THE TREE.)
 - CONSTRUCT PROTECTIVE FENCING OF CHAIN-LINK AROUND THE CRITICAL ROOT ZONE PRIOR TO DEMOLITION OR CONSTRUCTION.
 - DO NOT ALLOW COMPACTION BY EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
 - DO NOT ALLOW CEMENT TRUCKS TO RINSE WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEDS.
 - DO NOT STOCKPILE MATERIALS, DEBRIS OR DIRT WITHIN THE TREE PROTECTION AREA.
 - MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1-1/2" OF WATER OVER THE ENTIRE AREA PER WEEK.
 - DO NOT TRENCH, EXCAVATE, FILL OR OTHERWISE DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE.
 - ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED ON SITE:
 - OPERATE EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
 - PRUNING OF PUBLIC PROPERTY TREES SHALL BE PERFORMED BY A LICENSED ARBORIST.
- ALL TREES DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED USING THE FOLLOWING CRITERIA:

EXISTING TREE	REPLACEMENT
1" TO 6" CALIPER.....	2X CALIPER OF TREE REMOVED
6" TO 12" CALIPER.....	1.5X CALIPER OF TREE REMOVED
> 12" OR LARGER CALIPER.....	1X CALIPER OF TREE REMOVED

EXAMPLE: IF AN 8" CALIPER TREE IS REMOVED, AN ACCEPTABLE REPLACEMENT WOULD BE (3) 4" CALIPER TREES OR (4) 3" CALIPER TREES.

Key Notes

- EXISTING MODULAR BUILDING TO BE REMOVED BY OWNER. NOT A PART.
- EXISTING TIMBER DECKING AND RAMPS TO BE REMOVED BY OWNER. NOT A PART.
- EXISTING PLAYGROUND EQUIPMENT TO BE REMOVED BY OWNER. NOT A PART.
- REMOVE EXISTING FENCE. RETAIN AND REUSE CHAIN LINK FENCING TO THE GREATEST EXTENT POSSIBLE. DISPOSE OF UNUSED FENCING PROPERLY OFFSITE.
- REMOVE AND SALVAGE EXISTING PARKING BUMPERS FOR REUSE. REFER TO LAYOUT PLAN.
- PRESERVE AND PROTECT EXISTING FENCE.
- REMOVE AND DISPOSE OF EXISTING ELECTRICAL STRUCTURE. COORDINATE WITH RELEVANT UTILITY PROVIDER.
- REMOVE AND DISPOSE OF EXISTING UTILITY RISER. COORDINATE WITH RELEVANT UTILITY PROVIDER.
- PRESERVE AND PROTECT EXISTING POWER POLE.
- EXISTING STRUCTURE TO BE REMOVED/RELOCATED BY OWNER. NOT A PART.
- EXISTING PROPANE GAS TANK AND ALL RELATED APPURTENANCES TO BE RELOCATED BY OTHERS. NOT A PART.
- REMOVE AND DISPOSE OF EXISTING OVERHEAD WIRE UTILITY. COORDINATE WITH RELEVANT UTILITY PROVIDER.
- INSTALL NEW GUY ANCHOR AS NEEDED. COORDINATE WITH RELEVANT UTILITY PROVIDER.
- PRESERVE AND PROTECT EXISTING CONCRETE FLATWORK.

Material Legend

- REMOVE AND STOCKPILE EXISTING GRAVEL. RE-USE MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- REMOVE AND DISPOSE OF EXISTING LANDSCAPE, PLANT MATERIAL, AND IRRIGATION COMPONENTS. COORDINATE WITH OWNER.
- REMOVE AND DISPOSE OF EXISTING CONCRETE FLATWORK. REMOVE CONCRETE BASKETBALL COURTS. PROPERLY DISPOSE OF MATERIAL OFF-SITE. REMOVE BASKETBALL HOOPS AND BACK BOARDS AND RETURN TO OWNER.

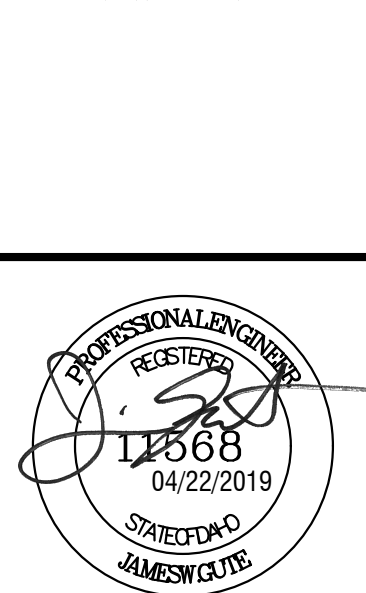
- EXISTING TREES TO BE REMOVED.
- EXISTING TREES TO BE PRESERVED AND PROTECTED. REFER TO TREE PROTECTION NOTES.



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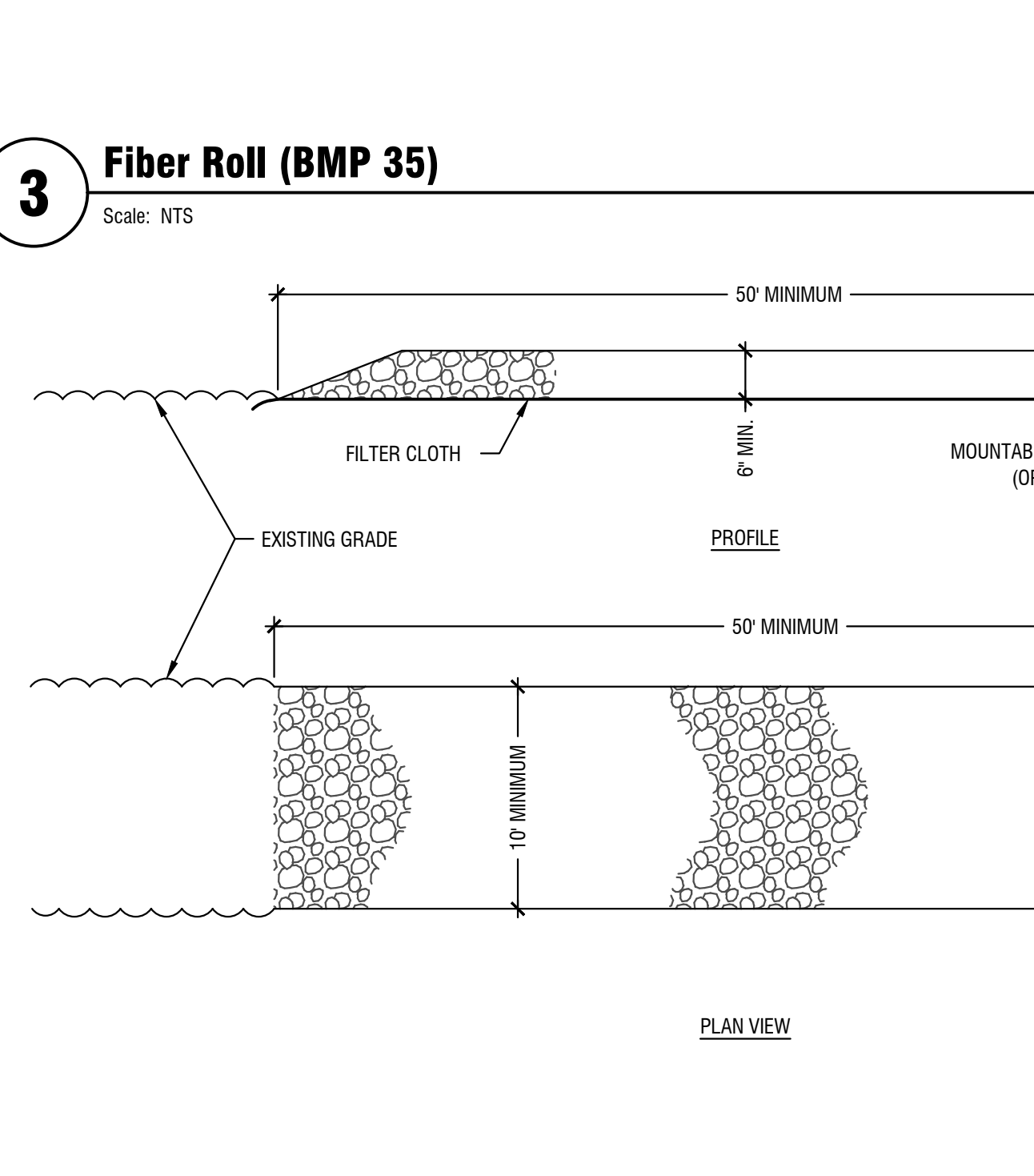
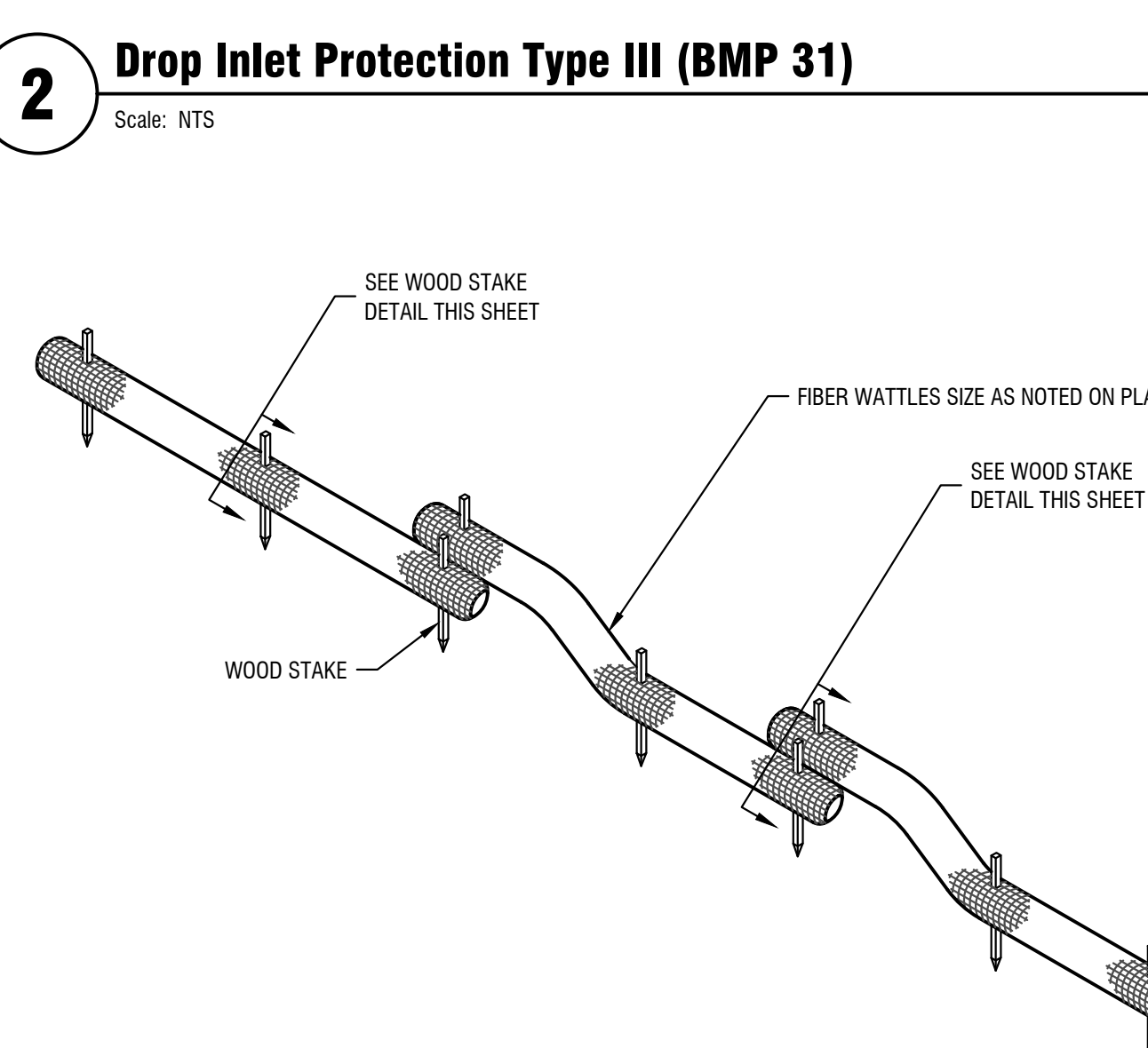
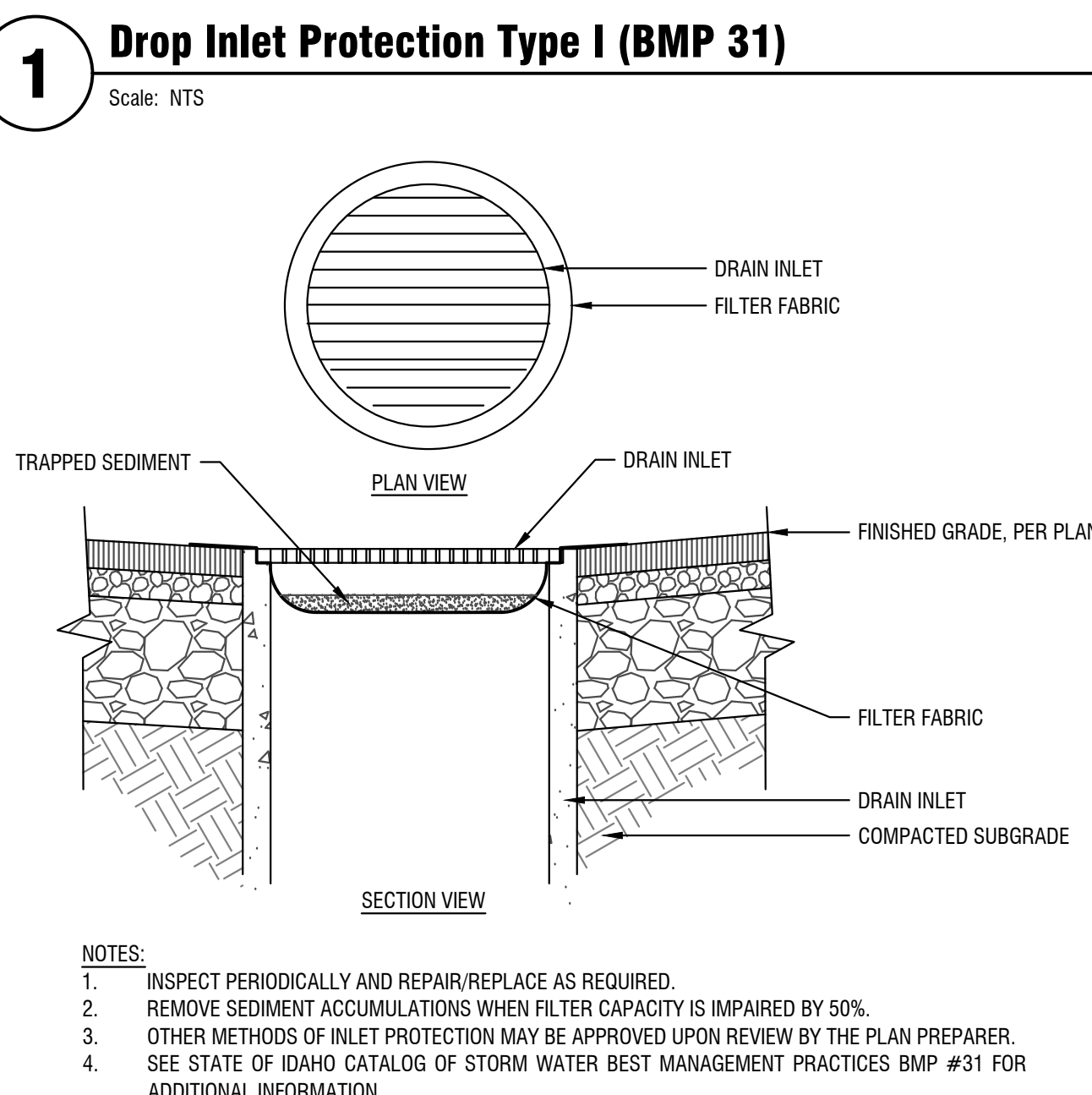
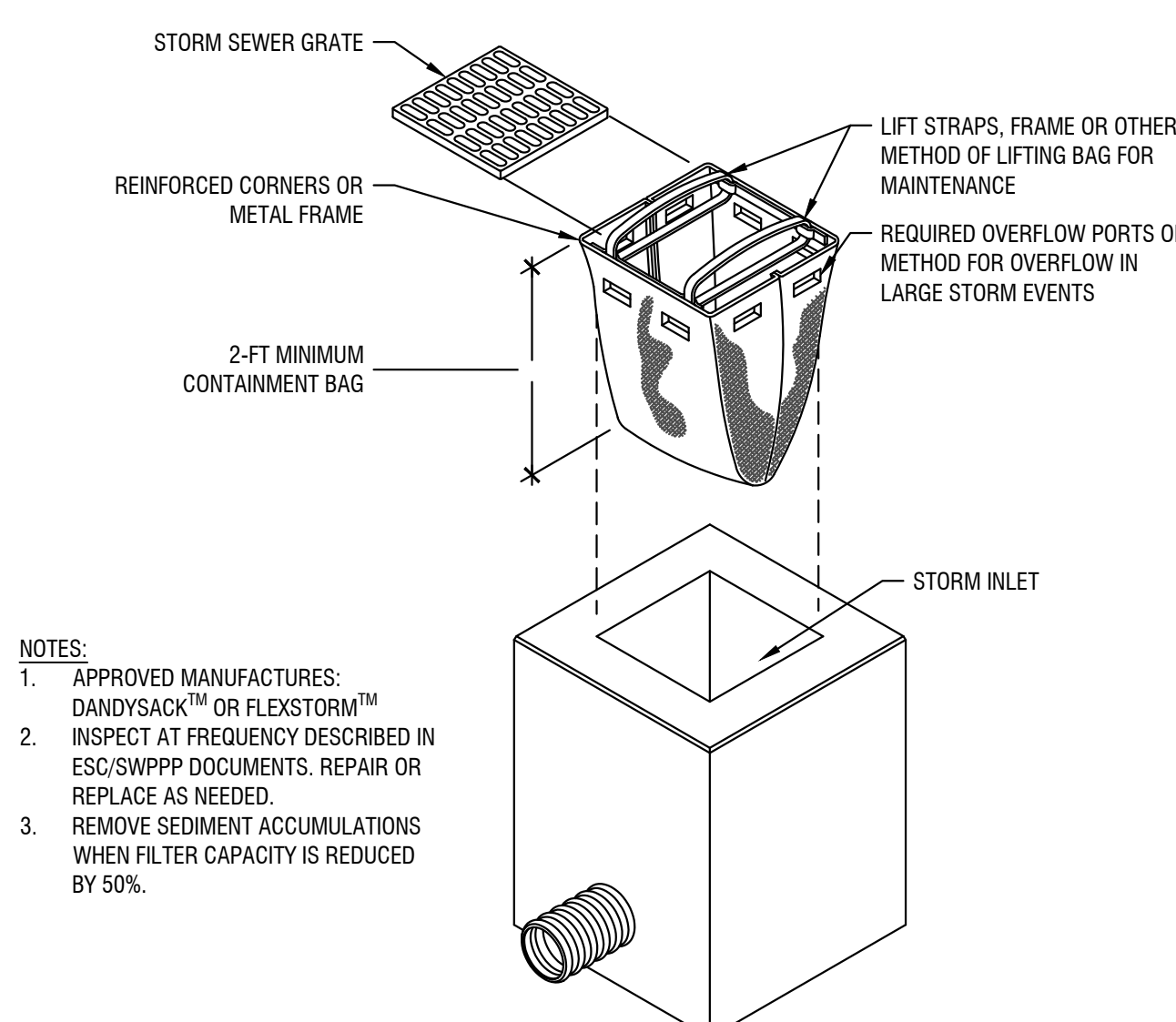
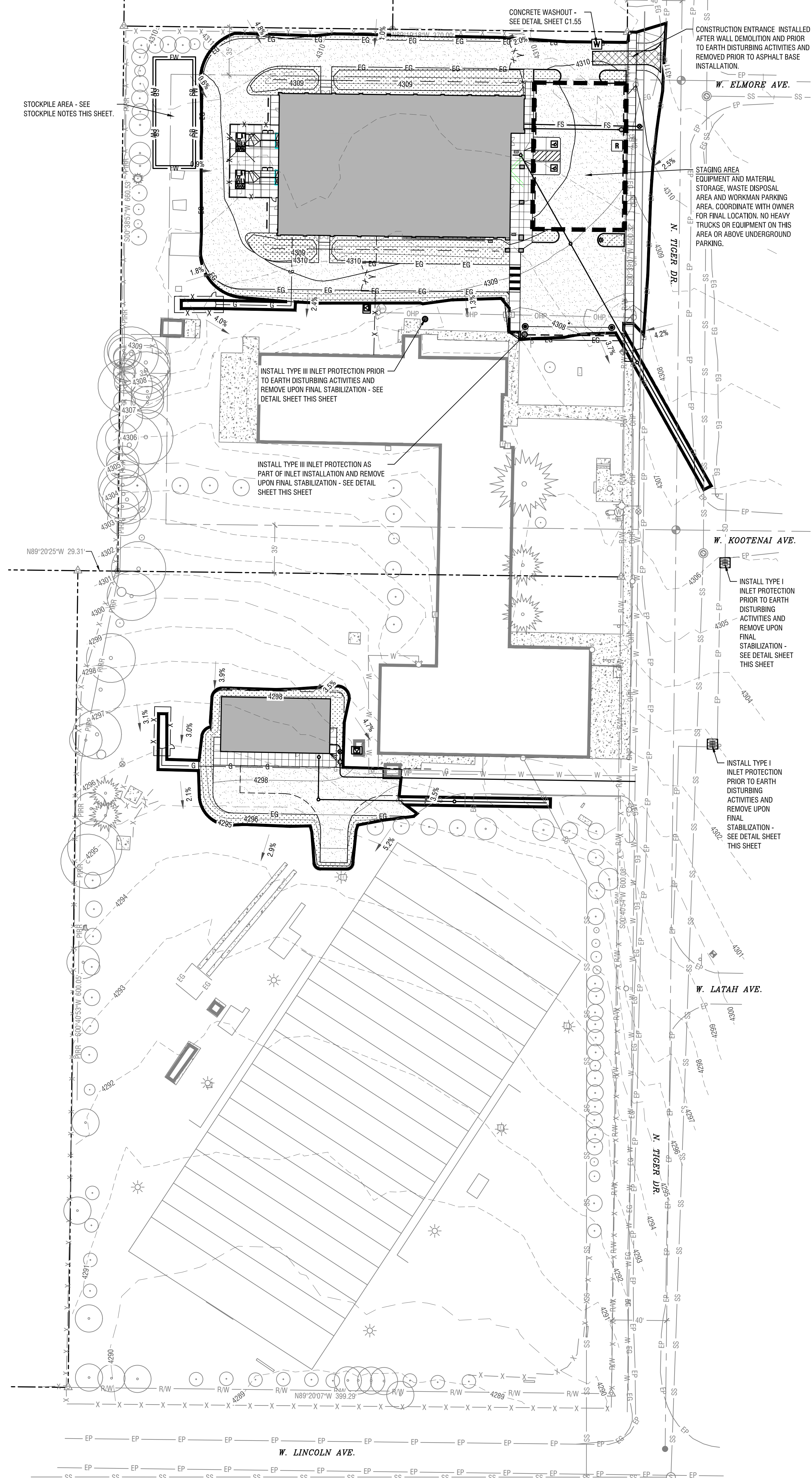
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RICHFIELD 2018 BOND PROJECTS
555 N. TIGER DRIVE
RICHFIELD, IDAHO

DATE
04/19/2019
SHEET NAME
EXISTING CONDITIONS - DEMOLITION PLAN
SHEET
C1.00



Contact Information:

OWNER/DEVELOPER: RICHFIELD SCHOOL DISTRICT #316
555 N. TIGER DRIVE
RICHFIELD, ID 83349
PRIMARY CONTACT: MIKE SMITH
PHONE: 208.457.2790

CONSTRUCTION MANAGER: BENITON CONSTRUCTION COMPANY
389 SW 5TH AVE.
MERIDIAN, ID 83642
PRIMARY CONTACT: RUSS ROGERS
PHONE: 208.871.0940

ONSITE SWPPP COORDINATOR: BENITON CONSTRUCTION COMPANY
CONTACT: RUSS ROGERS
PHONE (CELL): 208.871.0940

PLAN PREPARER: ROGER COLLINS
LICENSE NO. C0009-00260
EXPIRATION: 08.29.2021
COMPANY: THE LAND GROUP, INC.
462 E. SHORE DR., STE. 100
EAGLE, IDAHO 83616
PHONE: 208.939.4041

PROJECT ENGINEER: THE LAND GROUP, INC.
462 E. SHORE DR., STE. 100
EAGLE, IDAHO 83616
PRIMARY CONTACT: JIM GUTE, PE
PHONE: 208.939.4041

SWPPP Legend:

LIMITS OF DISTURBANCE

PROPOSED SLOPE CONTOUR (ONE-FOOT INTERVAL) WITH DIRECTIONAL SLOPE ARROWS

APPROXIMATE EXISTING GROUND CONTOUR (ONE-FOOT INTERVAL) WITH DIRECTIONAL SLOPE ARROWS

PORTABLE RESTROOM

RECTANGULAR OR CIRCULAR DROP INLET PROTECTION TYPE I PER BMP #31, SEE SHEET C1.55 FOR DETAILS

SELF-CONTAINED ABOVE GROUND LOADABLE CONCRETE WASH OUT.

STABILIZED ENTRANCE PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #5. THIS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL BASE MATERIAL IS INSTALLED. PROVIDE SWEEPING DAILY OR AS NEEDED TO REMOVE ANY TRACKING OF MUD AND/OR DIRT ONTO EXISTING ASPHALT. SEE SHEET C1.55.

MATERIALS STORAGE AND PARKING AREAS.

VEGETATIVE GROUND COVER OR MULCH AREAS FOR FINAL STABILIZATION.

COMPACTED GRAVEL AREAS FOR FINAL STABILIZATION.

ESC General Notes:

- ALL STORM WATER WILL BE CONTAINED ON SITE.
- ALL BMPs SHALL BE INSPECTED AT A MINIMUM ONCE EVERY 14 DAYS AND WITHIN 24 HOURS OF A STORM EVENT PRODUCING 0.25 INCHES OR GREATER, OR, ONCE EVERY SEVEN DAYS.
- INSPECTION FREQUENCY MAY BE REDUCED TO ONCE EVERY MONTH IF:
A. THE ENTIRE SITE IS TEMPORARILY STABILIZED, OR
B. RAINFALL IS UNLIKELY DUE TO WINTER CONDITIONS, OR
C. CONSTRUCTION IS OCCURRING DURING SEASONAL AND PERIODS (MAY THROUGH SEPTEMBER) IN ARID AREAS AND SEMI-ARID AREAS.
- DEWATERING IS NOT EXPECTED FOR THIS SITE. ONSITE ESC CONTRACTOR IS RESPONSIBLE FOR ALL NON-STORMWATER MANAGEMENT.
- STREET SWEEPING WILL BE IMPLEMENTED ON AN AS-NEEDED BASIS AS DETERMINED BY THE ESC COORDINATOR.
- PROVIDE WASTE CONTAINERS FOR CONSTRUCTION MATERIALS IN WASTE STORAGE CONTAINMENT AREA. WASTE DISPOSAL, DUMPSTERS MUST HAVE LIDS, OR PROVIDE COVER OR A SIMILARLY EFFECTIVE MEANS TO MINIMIZE THE DISCHARGE OF POLLUTANTS. KEEP WASTE CONTAINERS LIDS CLOSED WHEN NOT IN USE AND AT THE END OF THE BUSINESS DAY. DISPOSE AT A FREQUENCY ACCORDING TO CONTAINER SIZE.
- WORKMAN SHALL NOT PARK ON STREETS, COORDINATE SITE FOR ON SITE PARKING LOCATION.
- ALL DROP INLETS, CATCH BASINS, AND CURB INLETS NOTED ON PLAN SHALL HAVE INLET PROTECTION PROVIDED. SEE THE SWPPP PLAN DETAILS ON SHEET C1.55 AND MANUFACTURES GUIDELINES FOR INSTALLATION INSTRUCTIONS.
- LOCATE ALL PORTABLE RESTROOMS AS FAR FROM PUBLIC AND PRIVATE STORM DRAIN SYSTEMS AS POSSIBLE. ANCHOR TO PREVENT VANDALISM.
- SLURRY AND CUTTINGS FROM SAWCUTTING OF CONCRETE OR ASPHALT SHALL BE VACUUMED DURING CUTTING AND SURFACING OPERATIONS. SLURRY AND CUTTINGS SHALL NOT REMAIN ON PERMANENT CONCRETE OR ASPHALT PAVEMENT OVERNIGHT. SLURRY AND CUTTINGS SHALL NOT DRAIN TO ANY NATURAL OR CONSTRUCTED DRAINAGE CONVEYANCE. COLLECTED SLURRY AND CUTTINGS SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
- SEE LANDSCAPE AND MATERIALS PLANS FOR INFORMATION CONCERNING FINAL SOIL STABILIZATION MEASURES.
- ALL EXCESS MATERIALS SHALL BE HAULED OFF SITE AND DISPOSED OF AT AN APPROVED LOCATION. IF MATERIAL IS STOCKPILED FOR MORE THAN 14 DAYS STOCKPILE IS TO BE STABILIZED PER BMP #9, SHEET C1.55.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ISWPC.
- ALL GRADING, UTILITY, AND ROADWAY CONSTRUCTION SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 9:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 9:00 P.M. SATURDAY AND SUNDAY, UNLESS OTHERWISE APPROVED BY THE CONSTRUCTION MANAGER.
- ANY MODIFICATIONS TO THIS PLAN REQUIRE APPROVAL OF THE DESIGNER OR THE ONSITE RESPONSIBLE PERSON.
- TOTAL DISTURBED AREA IS APPROXIMATELY 1.88 ACRES.
- UPON CONTRACT APPROVAL BY THE CONTRACTOR, IT IS RECOGNIZED THAT THE CONTRACTOR HAS REVIEWED THE PLAN DRAWINGS AND THE CONTRACTOR AGREES TO ABIDE BY THE REQUIREMENTS AND CONDITIONS CONTAINED HEREIN.

Note: This project meets the requirements for a Low Erosivity Waiver (LEW) for coverage under the CGP, with an erosivity index of 4.77. This is based on a start date of 05.07.2019 and a final stabilization date of 02.07.2020. The Owner and Contractor can file a LEW through the EPA eNOI system to obtain the Waiver (LEW). If the construction dates change a new calculation must be prepared for a new erosivity index.

L.E.W. Posting Requirements:

- THE OPERATORS (CONTRACTOR AND OWNER/DEVELOPER) ARE RESPONSIBLE FOR APPLYING FOR OBTAINING THE EPA LOW EROSIVITY WAIVER (LEW) FROM THE EPA AND WEBSITE.
- A COMPLETE COPY OF THE LEW ON SITE AND MADE AVAILABLE FOR REVIEW BY EPA, A STATE, OR OTHER LOCAL APPROVING AGENCY.

Stockpile Management BMP 9:

FROM: IDEO STORM WATER BEST MANAGEMENT PRACTICES CATALOG SEPTEMBER 2005

DESCRIPTION:
STOCKPILE MANAGEMENT PROCEDURES AND PRACTICES ARE DESIGNED TO REDUCE OR ELIMINATE AIR AND STORMWATER POLLUTION FROM STOCKPILES OF SOIL, PAVING MATERIALS SUCH AS PORTLAND CEMENT CONCRETE (PCC) RUBBLE, ASPHALT CONCRETE (AC), ASPHALT CONCRETE RUBBLE, AGGREGATE BASE, AGGREGATE SUB BASE OR PRE-MIXED AGGREGATE, ASPHALT MINDER (SO CALLED "COLD MIX" ASPHALT), AND PRESSURE-TREATED WOOD.

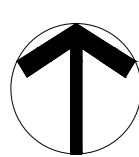
APPLICATIONS:
IMPLEMENT IN ALL PROJECTS THAT STOCKPILE SOIL AND OTHER MATERIALS.

LIMITATIONS:
DRAINAGE AREA - N/A
MINIMUM BEDROCK DEPTH - N/A
NRCS SOIL TYPE - N/A
DRAINAGE/FLOOD CONTROL - NO
TARGETED POLLUTANTS:
SEDIMENT
CONSTRUCTION GUIDELINES:
GENERAL
• LOCATE STOCKPILES A MINIMUM OF 50 FT AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES, AND INLETS.
• PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING A TEMPORARY PERIMETER SEDIMENT BARRIER SUCH AS BERMS, DIKES, FIBER ROLLS, SILT FENCES, SANDBAGS, OR GRAVEL BAGS. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
• PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.

PROTECTION OF NON-ACTIVE STOCKPILES
• SOIL STOCKPILES: DURING THE RAINY SEASON, SOIL STOCKPILES SHOULD BE COVERED OR PROTECTED WITH SOIL STABILIZATION MEASURES AND A TEMPORARY PERIMETER SEDIMENT BARRIER AT ALL TIMES. DURING THE NON-RAINY SEASON, SOIL STOCKPILES SHOULD BE COVERED OR PROTECTED WITH A TEMPORARY PERIMETER SEDIMENT BARRIER PRIOR TO THE ONSET OF PRECIPITATION.
• STOCKPILES OF PCC RUBBLE, AC, ASPHALT CONCRETE RUBBLE, AGGREGATE BASE, OR AGGREGATE SUB BASE: DURING THE RAINY SEASON, THE STOCKPILES SHOULD BE COVERED OR PROTECTED WITH A TEMPORARY SEDIMENT PERIMETER BARRIER AT ALL TIMES. DURING THE NON-RAINY SEASON, THE STOCKPILES SHOULD BE COVERED OR PROTECTED WITH A TEMPORARY PERIMETER SEDIMENT BARRIER PRIOR TO THE ONSET OF PRECIPITATION.
• STOCKPILES OF "COLD MIX": DURING THE RAINY SEASON, COLD MIX STOCKPILES SHOULD BE PLACED ON AND COVERED WITH PLASTIC OR COMPARABLE MATERIAL AT ALL TIMES. DURING THE NON-RAINY SEASON, COLD MIX STOCKPILES SHOULD BE PLACED ON AND COVERED WITH PLASTIC OR COMPARABLE MATERIALS PRIOR TO THE ONSET OF PRECIPITATION.
• STOCKPILES/STORAGE OF PRESSURE-TREATED WOOD: DURING THE RAINY SEASON, PRESSURE-TREATED WOOD SHOULD BE COVERED WITH PLASTIC OR COMPARABLE MATERIAL AT ALL TIMES. DURING THE NON-RAINY SEASON, PRESSURE-TREATED WOOD SHOULD BE COVERED WITH PLASTIC OR COMPARABLE MATERIAL AT ALL TIMES.

PROTECTION OF ACTIVE STOCKPILES
• ALL STOCKPILES SHOULD BE PROTECTED WITH A TEMPORARY LINEAR SEDIMENT BARRIER PRIOR TO THE ONSET OF PRECIPITATION.
• STOCKPILES OF "COLD MIX" SHOULD BE PLACED ON AND COVERED WITH PLASTIC OR COMPARABLE MATERIAL PRIOR TO THE ONSET OF PRECIPITATION.

MAINTENANCE
• INSPECT AND VERIFY THAT BMPs ARE IN PLACE PRIOR TO THE COMMENCEMENT OF ASSOCIATED ACTIVITIES. WHILE ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDERWAY, INSPECT WEEKLY DURING THE RAINY SEASON AND AT 2-WEEK INTERVALS IN THE NON-RAINY SEASON TO VERIFY CONTINUED BMP IMPLEMENTATION.
• REPAIR AND/OR REPLACE PERIMETER CONTROLS AND COVERS AS NEEDED TO KEEP THEM FUNCTIONING PROPERLY.



Gymnasium Site Layout

Horizontal Scale: 1" = 20'



Sheet Notes:

- UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE, DIGLINE MARKS AND AS-BUILT PLANS. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON RECORDS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY AND FOUND MONUMENTS ON THE GROUND. EASEMENTS, ENCROACHMENTS AND OTHER ENCUMBRANCES WHICH MAY BE APPARENT BY CONDUCTING A FULL TITLE SEARCH, ARE NOT NECESSARILY DEPICTED ON THIS SURVEY.
- ANY DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
- ALL LANDSCAPE AND IRRIGATION REPAIR AND MATCH-BACK SHALL BE BY OWNER. NOT A PART.

Keynotes

- ACCESSIBLE PARKING STALL. SEE DETAIL 8/C2.50.
- ADA PEDESTRIAN RAMP. SEE DETAIL 7/C2.50.
- VERTICAL CURB. SEE LINE LEGEND BELOW AND DETAIL 6/C2.50.
- ADA STRIPING PER DETAIL 8/C2.50.
- PROPOSED STORM DRAINAGE INFILTRATION TRENCH. SEE DETAIL 3/C4.50.
- PEDESTRIAN CROSSWALK MARKING. SEE SPECIFICATION 321216.
- CHAIN LINK FENCE TO MATCH EXISTING. SEE DETAIL 9/C2.50.
- DOUBLE CHAIN LINK FENCE GATE. SEE DETAIL 11/C2.50.
- SALVAGED OR NEW PARKING BUMPER. SEE DETAIL 5/C2.50.
- THICKENED EDGE SIDEWALK. SEE DETAIL 2/C2.50.
- LP GAS TANK. INSTALLATION BY OTHERS.
- TRANSFORMER. SEE ELECTRICAL SITE PLAN.
- ACCESSIBLE PARKING SIGN. SEE DETAIL 12/C2.50.
- WATER METER. SEE SHEET C5.00.
- INSTALL 6" TALL CHAIN LINK FENCE. SEE DETAIL 9/C2.50.
- INSTALL 4" TALL CHAIN LINK FENCE. SEE DETAIL 9/C2.50.
- INSTALL 36" WIDE CHAIN LINK MAIN GATE. MATCH FENCE HEIGHT. COORDINATE LOCATION OF GATE AT PROPANE TANK WITH PROPANE TANK PROVIDER.
- STORM DRAIN SEEPAGE BED AND STRUCTURES PER SHEET C4.00 AND DETAILS ON SHEET C4.50.
- SANITARY SEWER STRUCTURE. SEE UTILITY PLAN SHEET C5.00.
- LIGHT POLE. SEE ELECTRICAL SITE PLAN.

Material Legend

- GRAVEL PAVING. SEE DETAIL 1/C2.50.
- EXISTING GRAVEL REPAIR AS REQUIRED.
- STANDARD CONCRETE FLATWORK. SEE DETAIL 3/C2.50.
- HEAVY DUTY CONCRETE FLATWORK. SEE DETAIL 13/C2.50.
- PAVEMENT REPAIR PER ISPPWC SD-303. MATCH EXISTING ASPHALT SECTION.
- 4-IN MIN. DEPTH OF 2"-1" PERMA BARK DECORATIVE ROCK MULCH OR APPROVED ALTERNATE. COLOR: TAN/GRAY.
- LANDSCAPE REPAIR AREA. LANDSCAPE AND IRRIGATION SHALL BE REPAIRED BY OWNER. NOT A PART OF CONTRACT.

Line Legend

- PROPERTY BOUNDARY
- VERTICAL CURB. SEE DETAIL 6/C2.50.
- EG — EDGE OF GRAVEL PAVEMENT
- OHP — OVERHEAD POWER LINE
- DRAINAGE SWALE CENTER LINE
- EXISTING CHAIN LINK FENCE
- PROPOSED CHAIN LINK FENCE - REFER TO KEYNOTES FOR HEIGHT OR MATCH EXISTING
- SAWCUT LIMITS - PROVIDE NEAT-LINE SAWCUT OF ASPHALT PER ISPPWC SD-303.

BID ALTERNATE

- BID ALTERNATE NO. 1: GRAVEL LOOP DRIVE**
ADD/DEDUCT ALL MATERIALS AND LABOR ASSOCIATED WITH THE CONSTRUCTION OF THE GRAVEL DRIVE AND PARKING ON THE WEST SIDE OF THE GYMNASIUM AS DESCRIBED IN THE BID DOCUMENTS.
 - BASE BID: NO GRAVEL DRIVE TO BE CONSTRUCTED WITHIN THE AREA SHOWN. DO NOT INSTALL PARKING BUMPERS ON THE WEST SIDE OF BUILDING. MATCH LANDSCAPING TO FACE OF CONCRETE SURFACING.
 - BID ALTERNATE NO. 1: CONSTRUCT GRAVEL DRIVE AS INDICATED ON PLANS AND PER DETAIL 1/C2.50. INSTALL PARKING BUMPERS AS INDICATED.
- BID ALTERNATE NO. 3A: EAST PARKING LOT ASPHALT PAVING**
ADD/DEDUCT ALL MATERIALS AND LABOR ASSOCIATED WITH THE CONSTRUCTION OF THE PAVED PARKING AREA ON THE EAST SIDE OF THE GYMNASIUM.
 - BASE BID: AS INDICATED ON PLANS.
 - BID ALTERNATE NO. 3A: CONSTRUCT ASPHALT SECTION INSTEAD OF GRAVEL FOR THE EAST PARKING LOT AS DESCRIBED FOR BASE BID. INSTALL ASPHALT SECTION PER DETAIL 15/C2.50. INSTALL CURB AND GUTTER AS SHOWN ON PLANS PER ISPPWC SD-701 AND VALLEY GUTTER AS SHOWN ON PLANS AND PER ISPPWC SD-708. STRIPE PARKING AREA WHERE PARKING BUMPERS ARE INDICATED FOR A 10' WIDE X20' LONG STALL.
- BID ALTERNATE NO. 3B: LOOP DRIVE ASPHALT PAVING**
ADD/DEDUCT ALL MATERIALS AND LABOR ASSOCIATED WITH THE CONSTRUCTION OF THE PAVED LOOP DRIVE AND PARKING AROUND THE WEST SIDE OF THE GYMNASIUM.
 - BASE BID: AS INDICATED ON PLANS.
 - BID ALTERNATE NO. 3B: CONSTRUCT ASPHALT SECTION INSTEAD OF GRAVEL FOR LOOP DRIVE ON THE NORTH, WEST, AND SOUTH SIDES OF THE GYMNASIUM AS INDICATED ON THE PLANS AS BID ALTERNATE NO. 1. INSTALL ASPHALT SECTION PER DETAIL 15/C2.50. STRIPE PARKING AREA WHERE PARKING BUMPERS ARE INDICATED FOR A 10' WIDE X20' LONG STALL.



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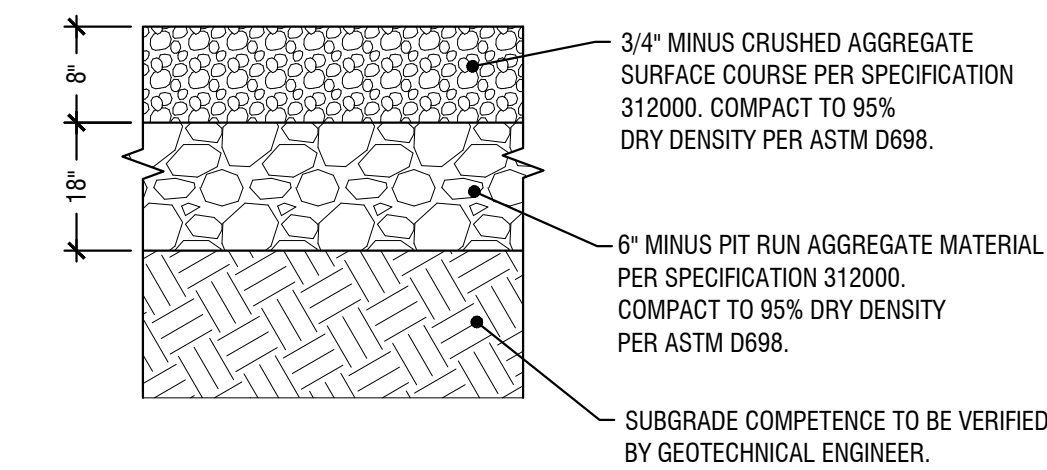
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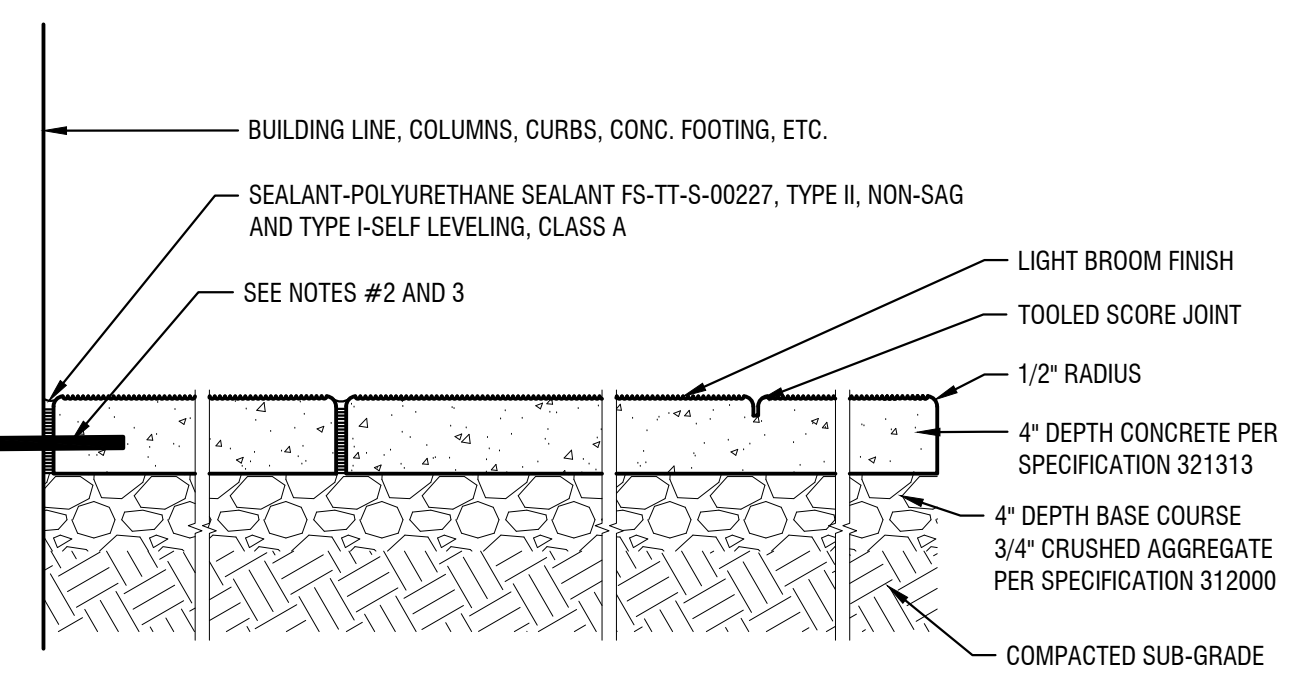
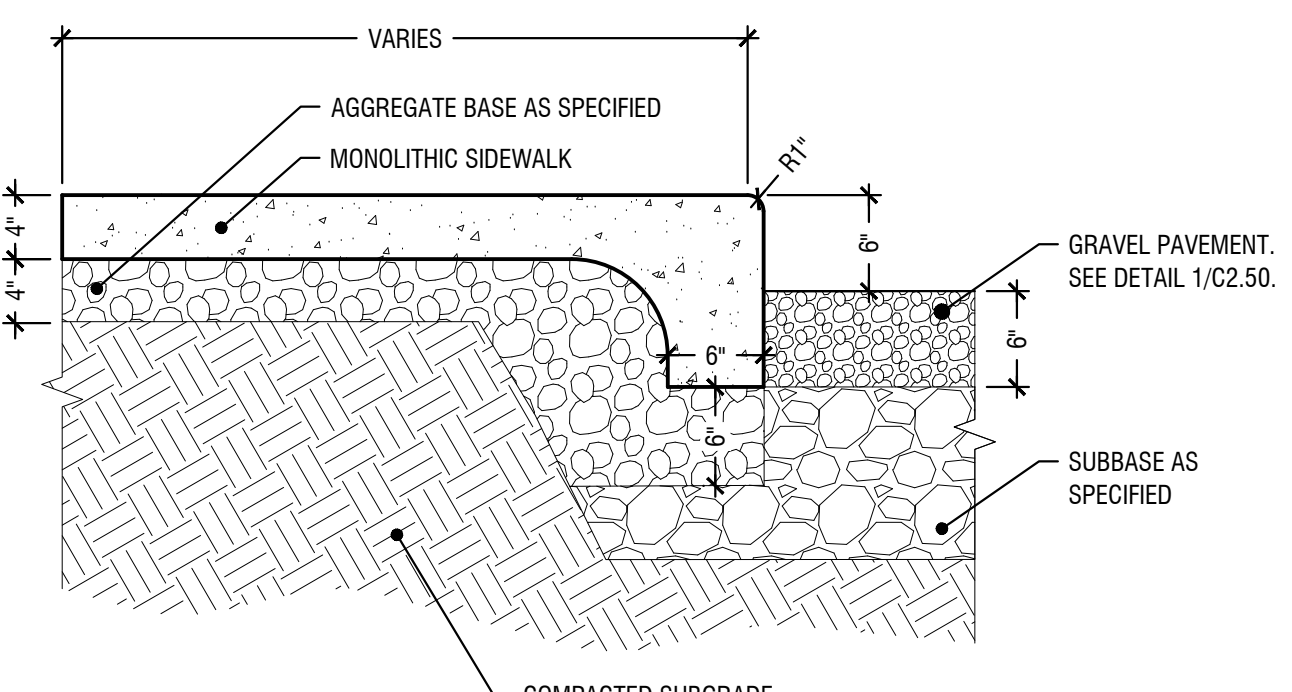
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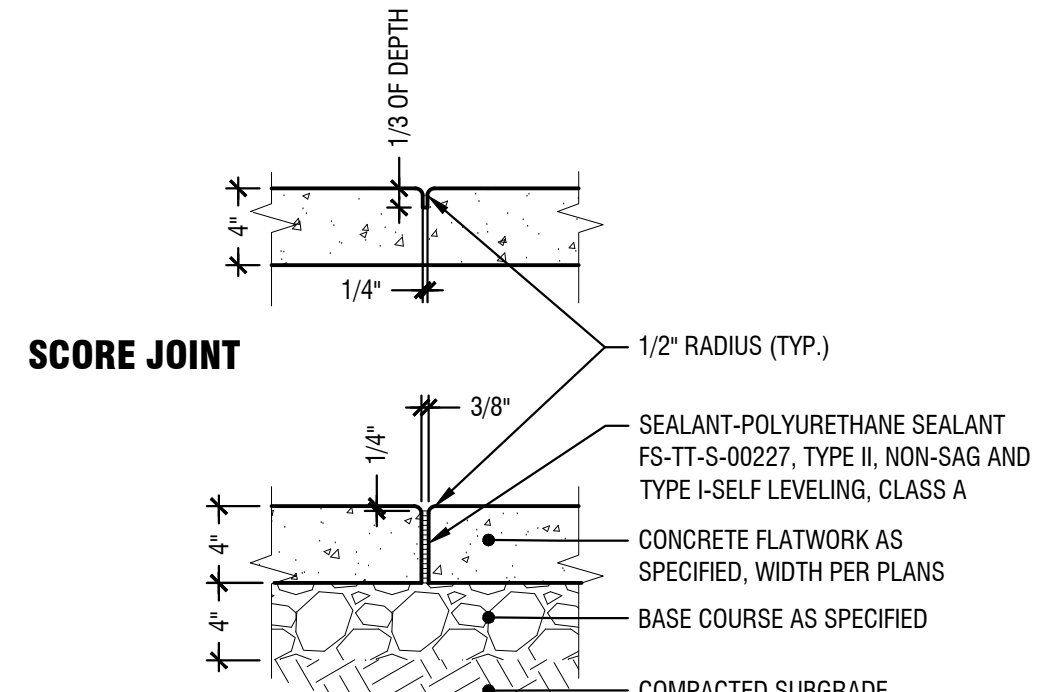
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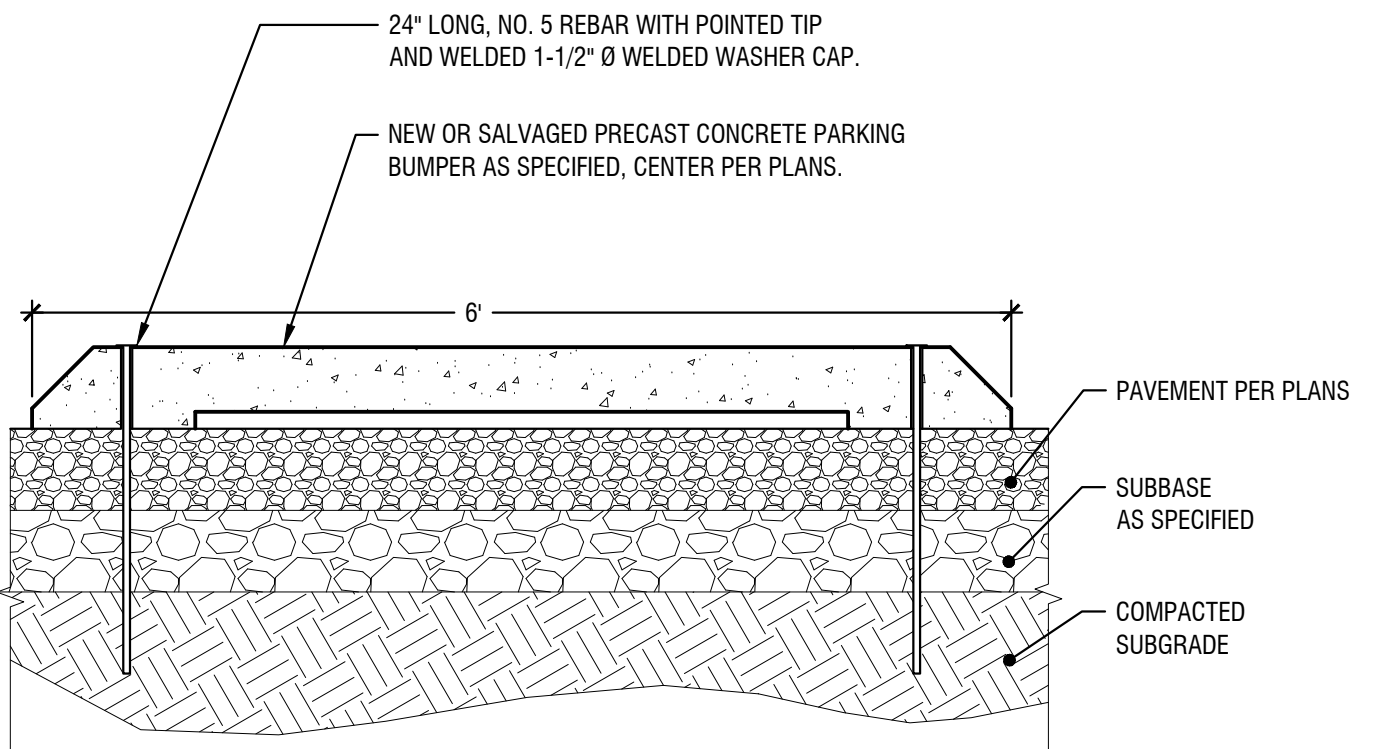
NOTE:
1. SUBGRADE UNDER PAVEMENT SECTIONS SHALL BE PROPERLY STRIPPED, INSPECTED, AND PROOF-ROLLED. VERIFICATION OF THE SUBGRADE COMPETENCE BY THE GEOTECHNICAL ENGINEER AT THE TIME OF CONSTRUCTION IS REQUIRED.



NOTE:
1. JOINTS SHALL BE SPACED EVENLY THROUGHOUT LENGTH OF WALK, AS SHOWN ON DRAWINGS.
2. 1/2\"/>



NOTE:
1. REFER TO SPECIFICATIONS FOR 28-DAY COMPRESSIVE STRENGTH REQUIREMENTS.



NOTE:
1. CENTER OF WHEEL STOPS TO BE LOCATED 3'-0\"/>

1 Gravel Section

Scale: NTS

2 Thickened Edge Sidewalk

Scale: NTS

3 Standard Concrete Flatwork

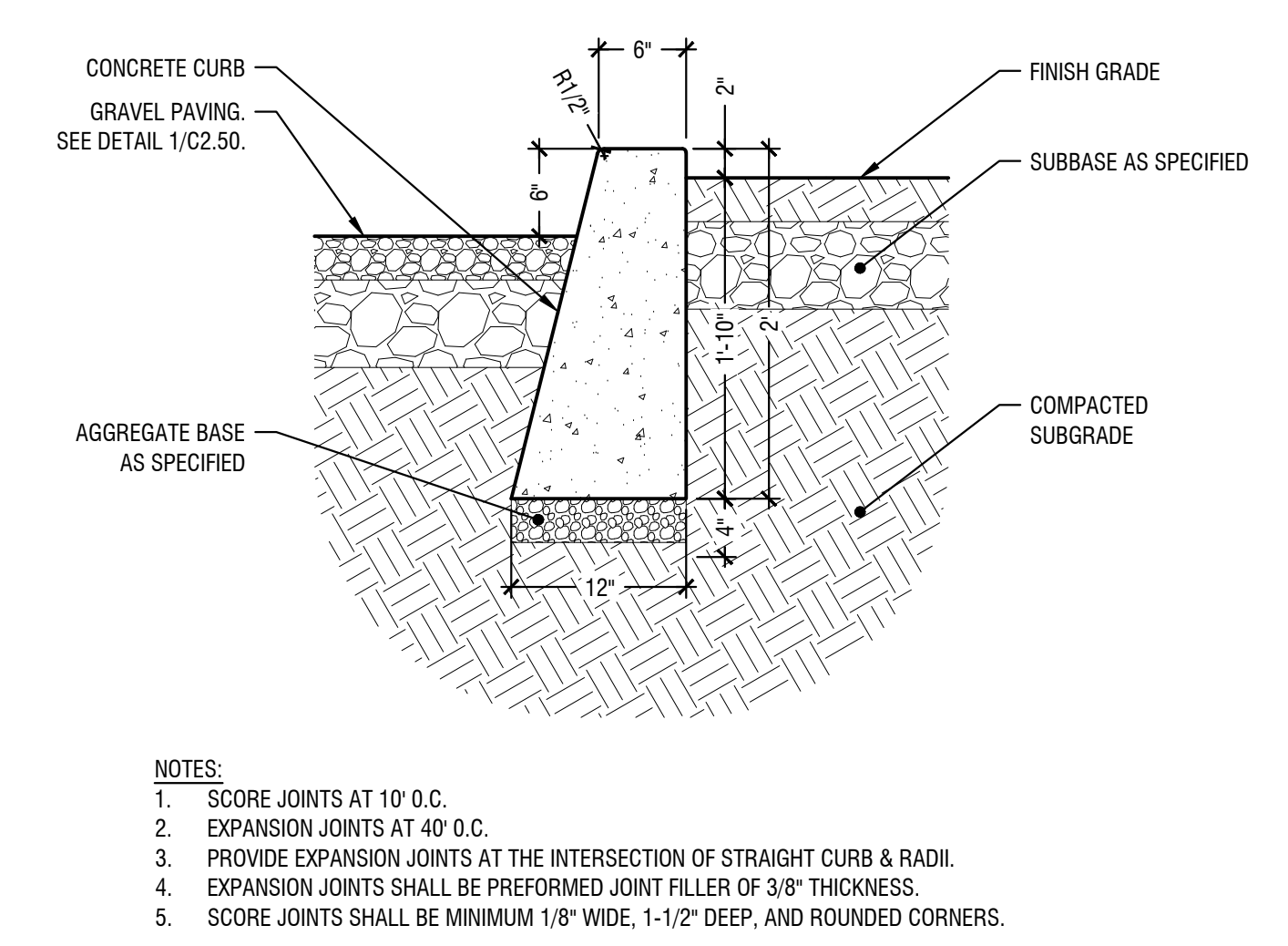
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4 Concrete Joints

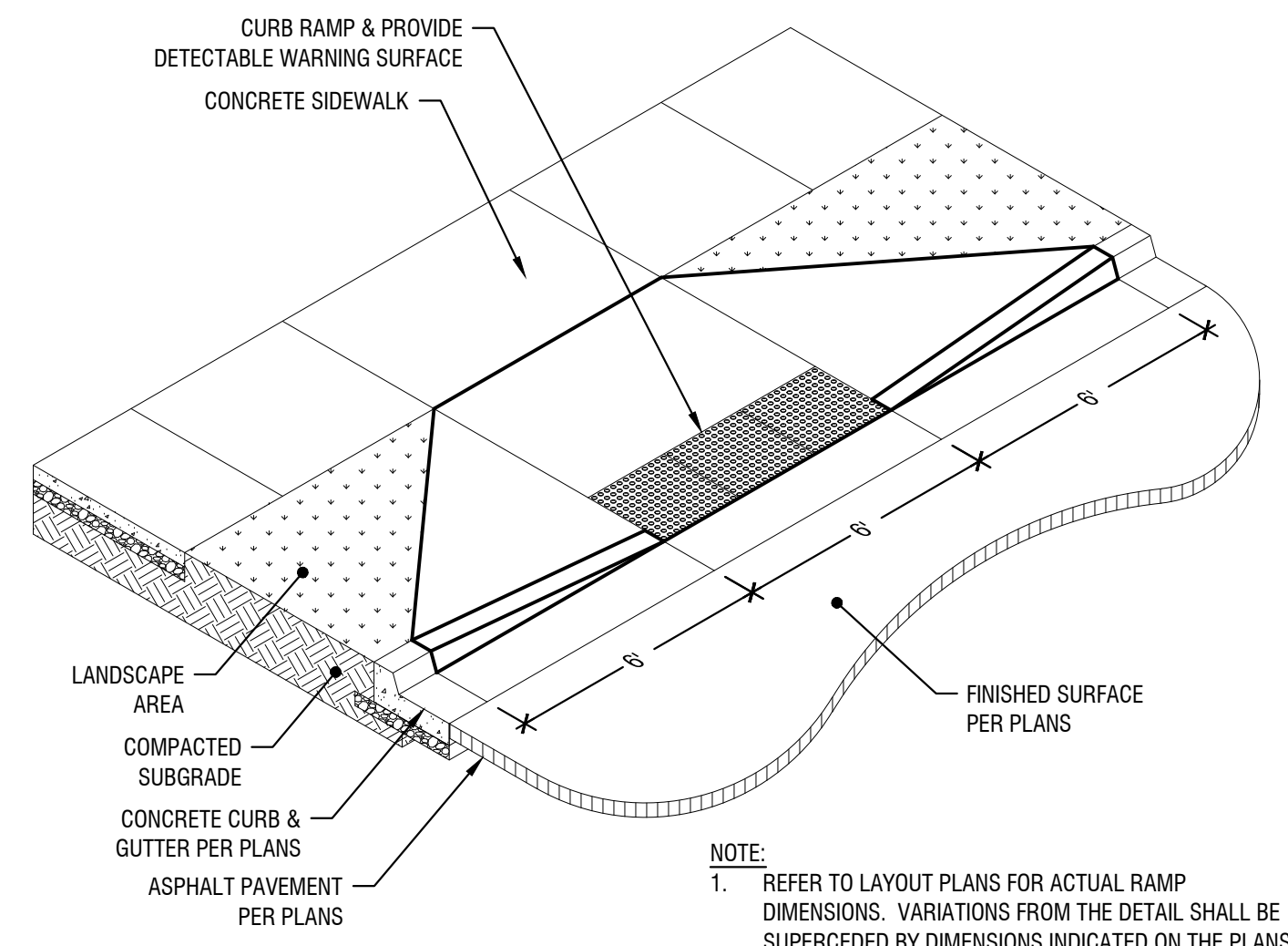
Scale: NTS

5 Concrete Parking Bumper

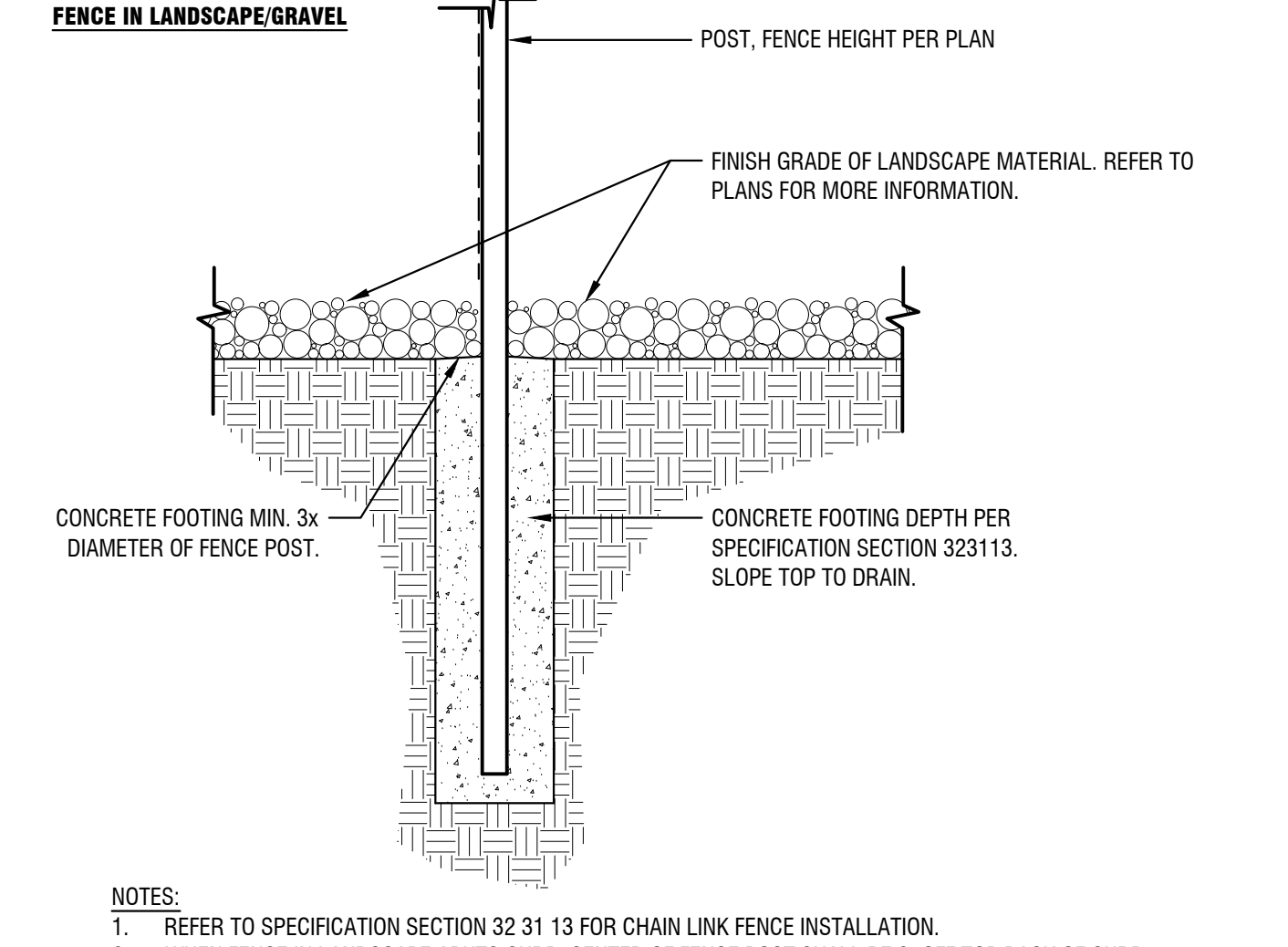
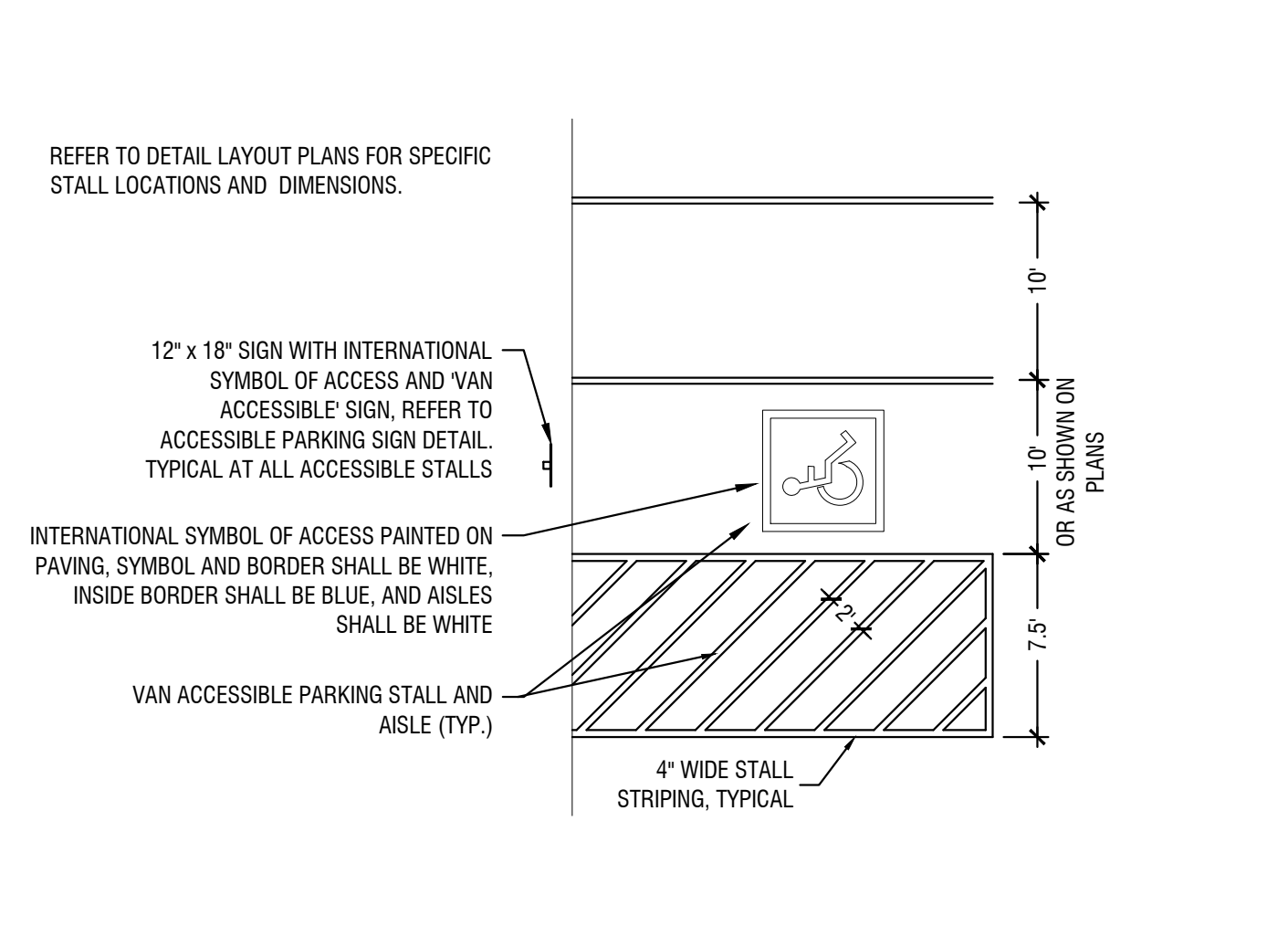
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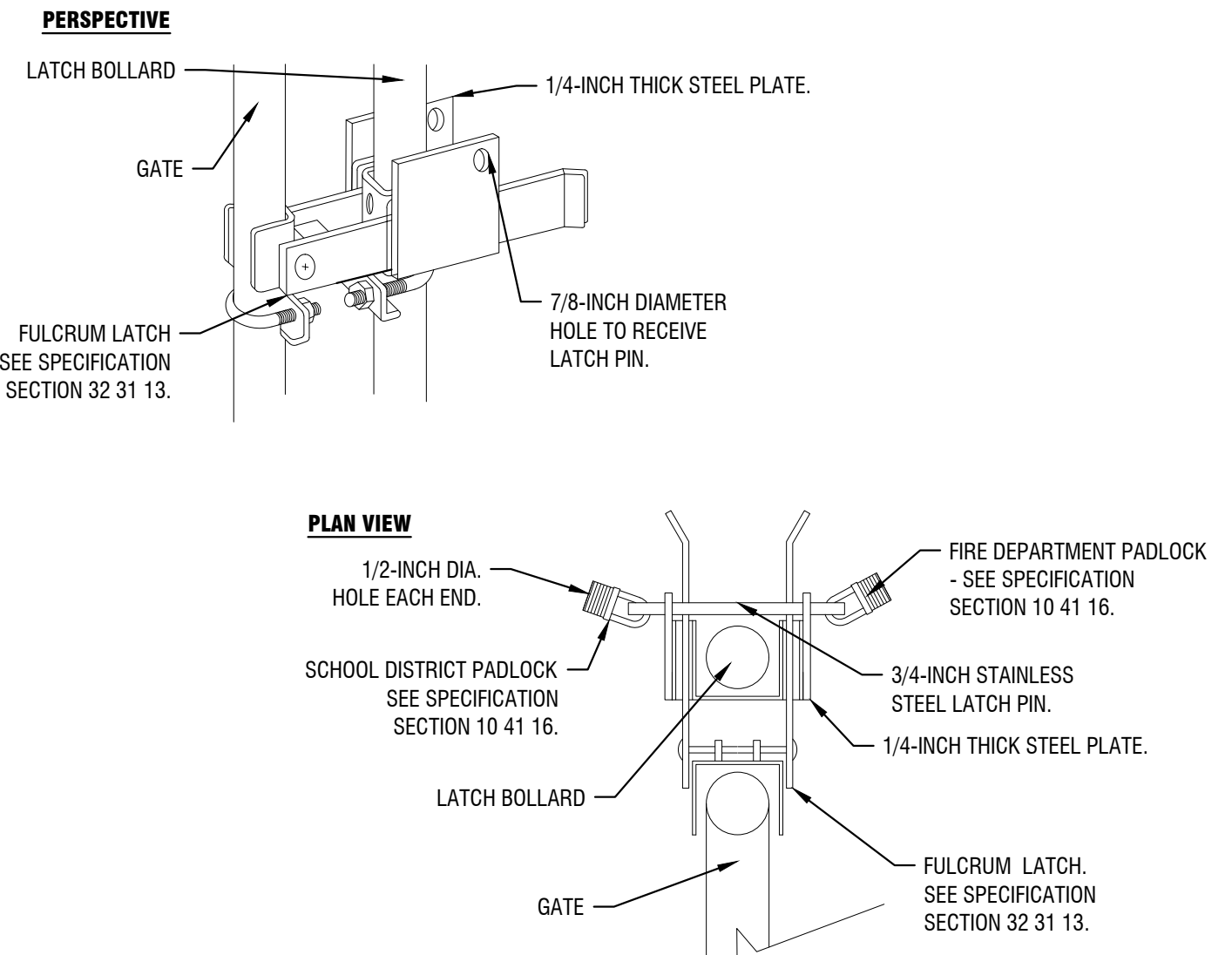
NOTES:
1. SCORE JOINTS AT 10' O.C.
2. EXPANSION JOINTS AT 40' O.C.
3. PROVIDE EXPANSION JOINTS AT THE INTERSECTION OF STRAIGHT CURB & RADI.
4. EXPANSION JOINTS SHALL BE PREFORMED JOINT FILLER OF 3/8\"/>



NOTE:
1. REFER TO LAYOUT PLANS FOR ACTUAL RAMP DIMENSIONS. VARIATIONS FROM THE DETAIL SHALL BE SUPERCEDED BY DIMENSIONS INDICATED ON THE PLANS.



NOTES:
1. REFER TO SPECIFICATION SECTION 32 31 13 FOR CHAIN LINK FENCE INSTALLATION.
2. WHEN FENCE IN LANDSCAPE ABUTS CURB, CENTER OF FENCE POST SHALL BE 6\"/>



6 Vertical Curb

Scale: NTS

7 ADA Pedestrian Ramp

Scale: NTS

8 Accessible Parking Layout

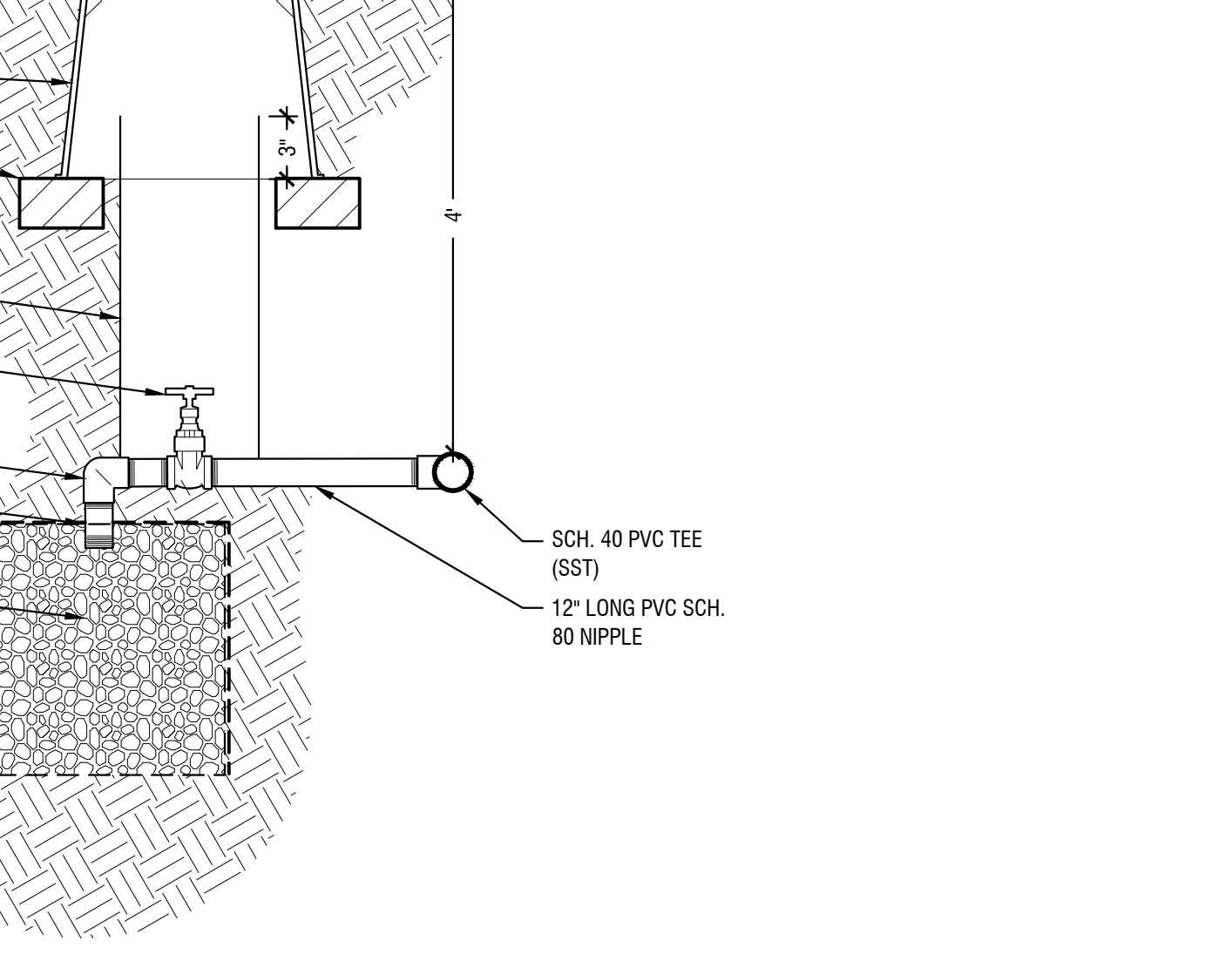
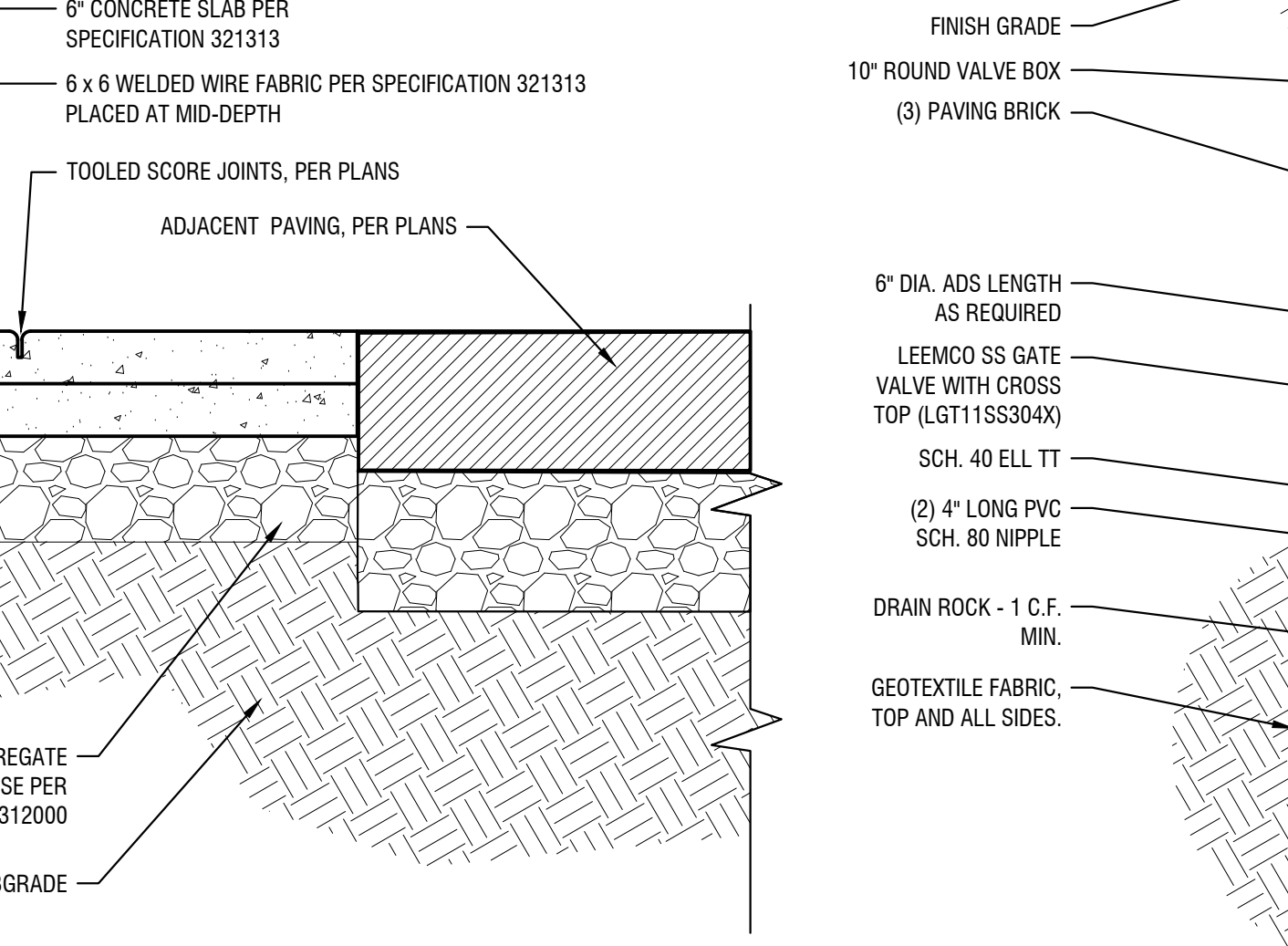
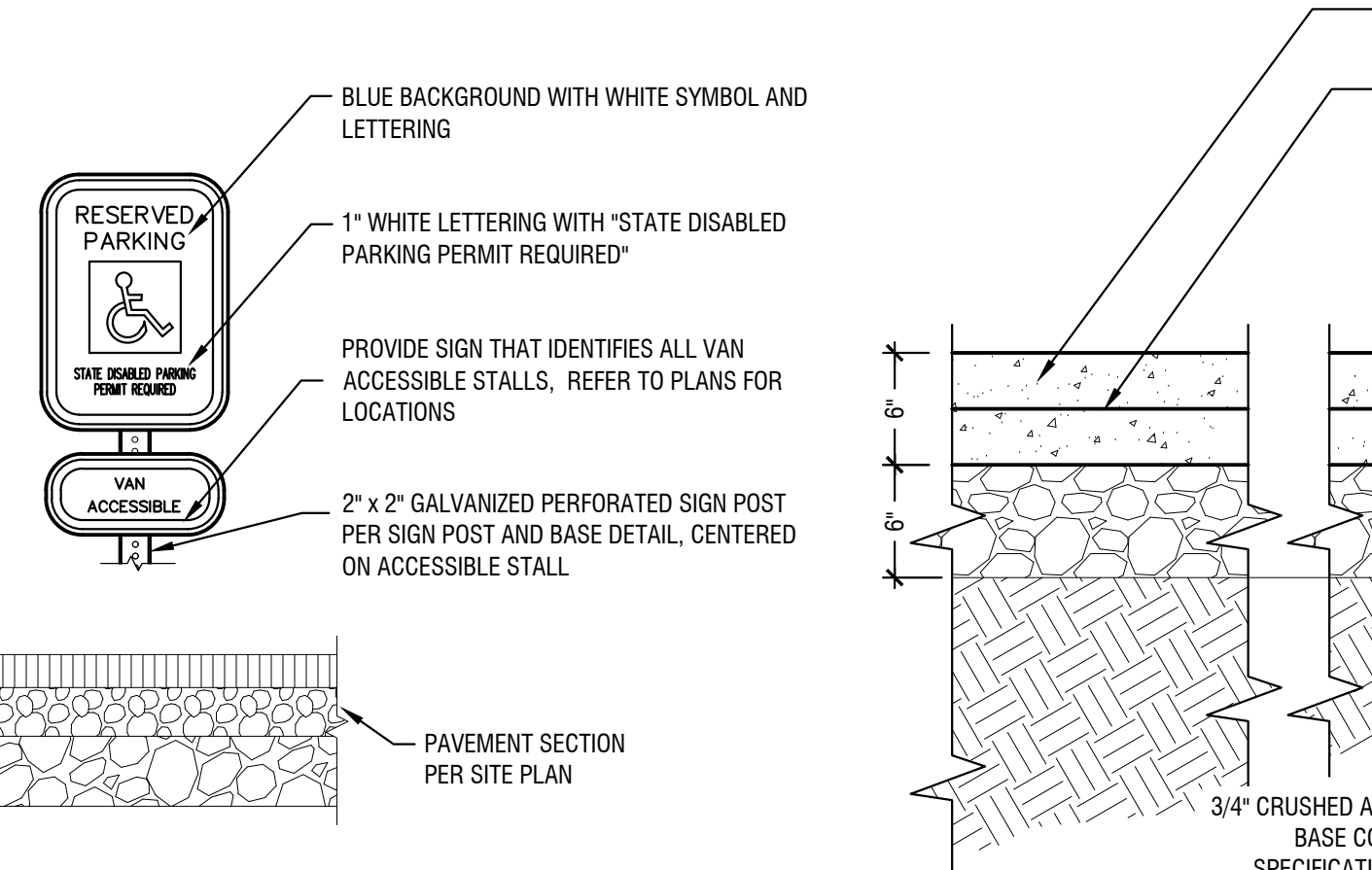
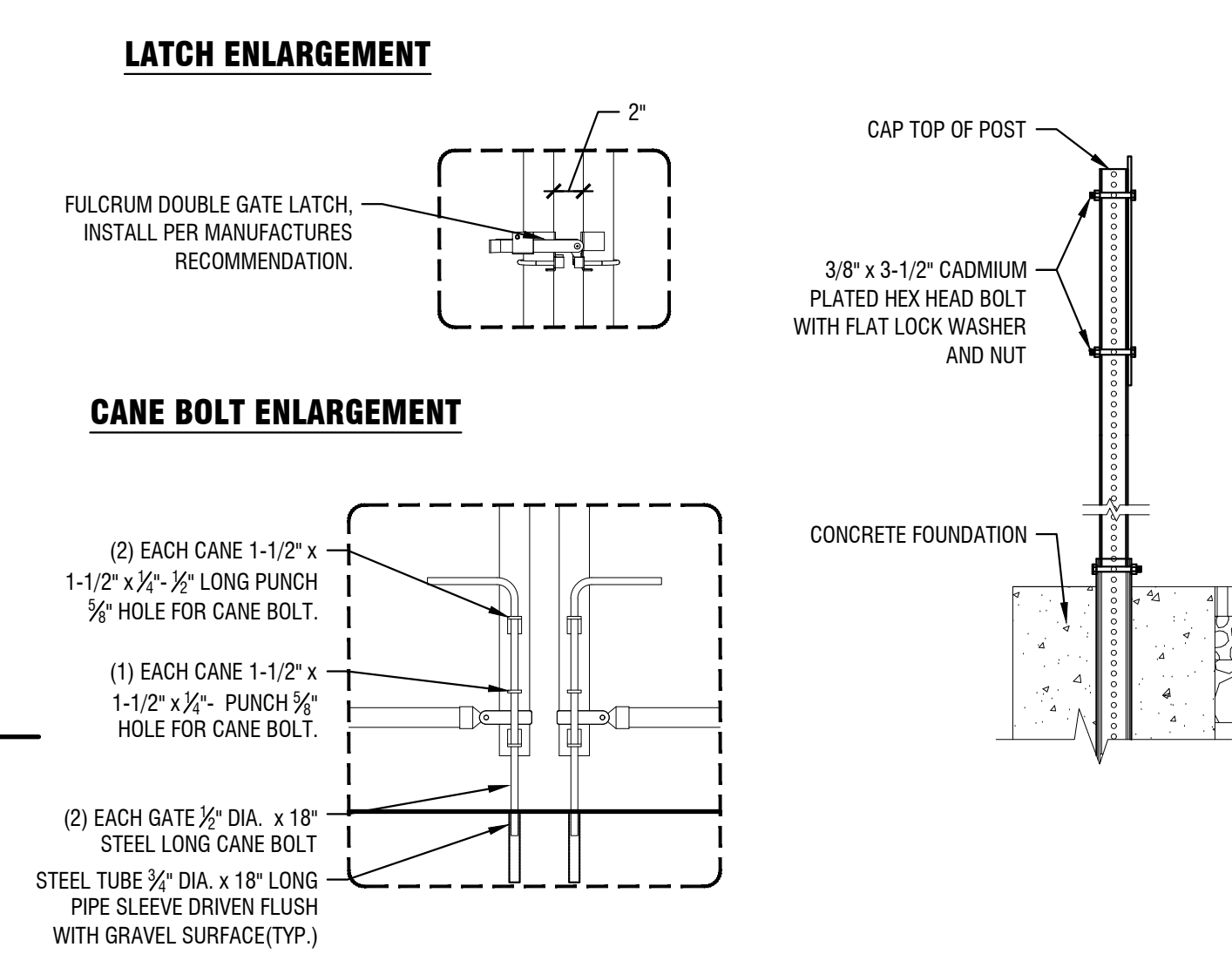
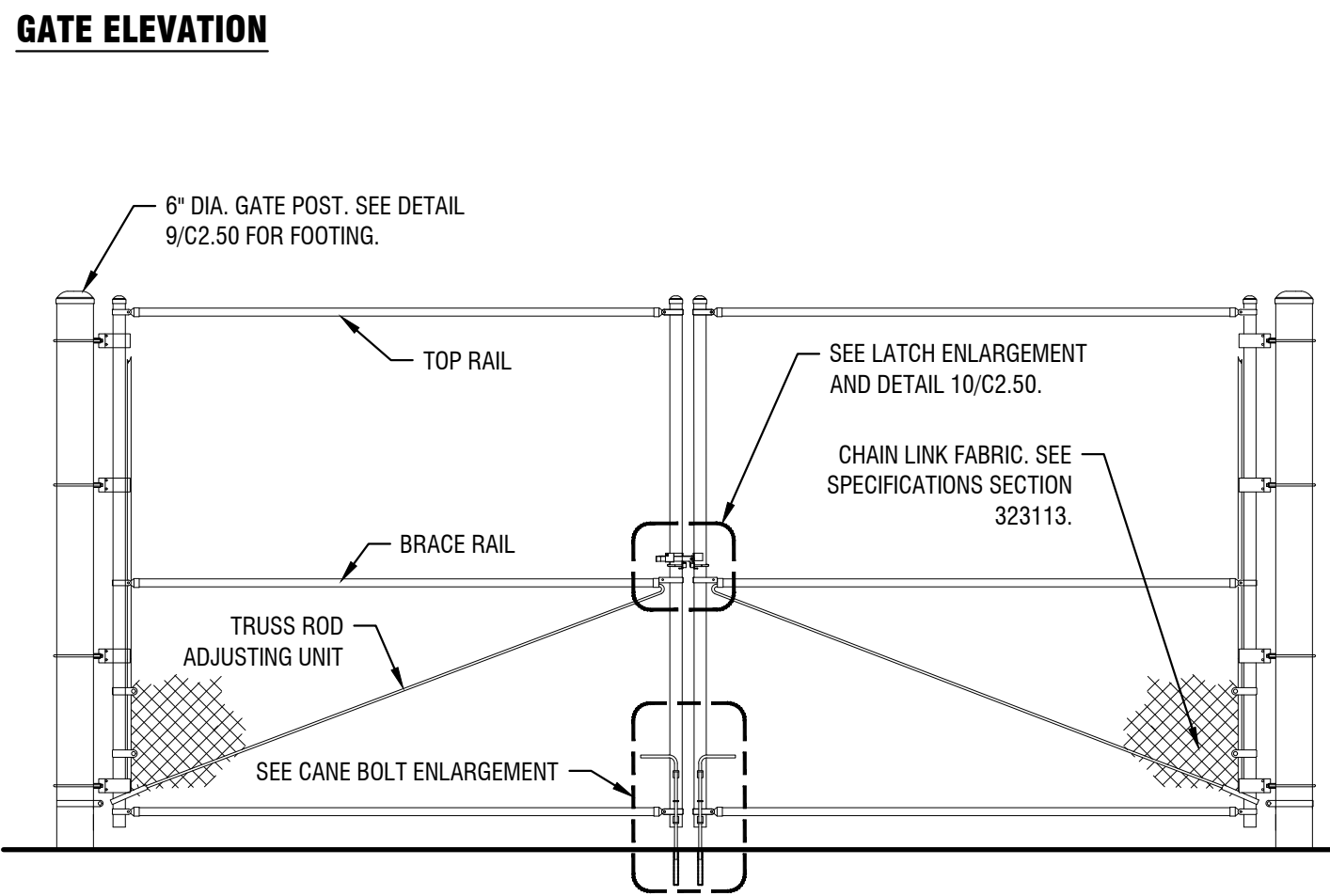
Scale: NTS

9 Chain Link Fence Footings

Scale: NTS

10 Double Swing Chainlink Gate Latch

Scale: NTS



11 Double Chain Link Fence Gate

Scale: NTS

12 Accessible Parking Sign

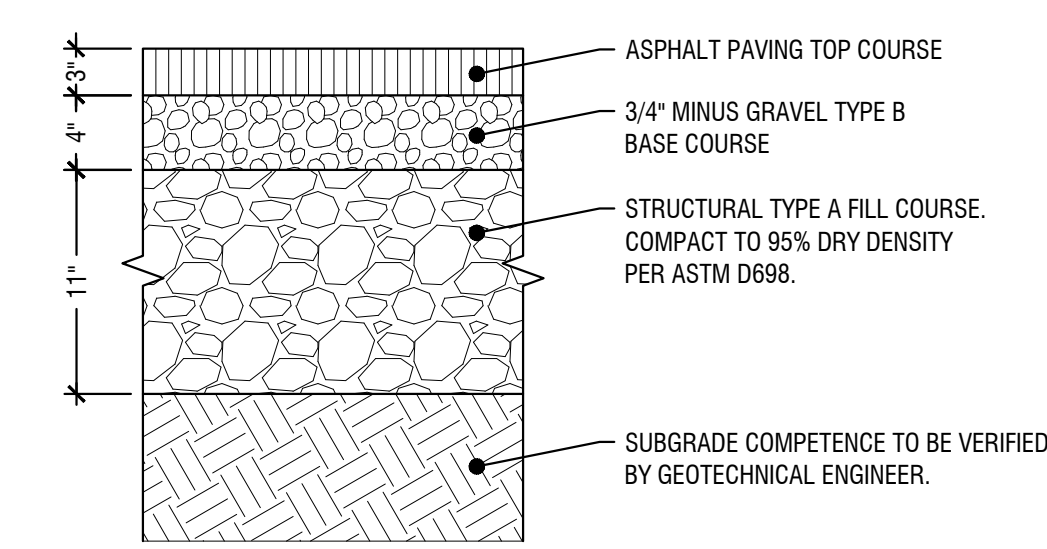
Scale: NTS

13 Heavy Duty Concrete Paving

Scale: NTS

14 Drain Valve

Scale: 1-1/2\"/>



NOTE:
1. SUBGRADE UNDER PAVEMENT SECTIONS SHALL BE PROPERLY STRIPPED, INSPECTED, AND PROOF-ROLLED. VERIFICATION OF THE SUBGRADE COMPETENCE BY THE GEOTECHNICAL ENGINEER AT THE TIME OF CONSTRUCTION IS REQUIRED.

15 Asphalt Section-Bid Alternate 3A & 3B

Scale: NTS

DESIGN WEST
ARCHITECTS, P.A.
KEMENICK, WASHINGTON & ONTARIO, OREGON
www.designwestpa.com

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DRAWN BY
RTH

CHECKED BY
JUG

JOB NUMBER
120716

REVISIONS

THE LAND GROUP
TUG# 11854

PROFESSIONAL ENGINEER
REGISTERED
11068
05/02/2019
STATE OF IDAHO
JAMES W. JEFFREY

RICHFIELD 2018 BOND PROJECTS

555 N. TIGER DRIVE
RICHFIELD, IDAHO

DATE
04/19/2019

SHEET NAME
SITE DETAILS

SHEET
C2.50

Richfield_TigerDrain_C2.50(1) 3/27/19 PM

Drawn: 11/26/2019 10:55:42 PM

H

G

F

E

D

C

B

A

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E

D

C

B

A

Engineer's Standard Notes:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (I.S.P.W.C.) AND STANDARDS OF THE CITY OF RICHFIELD. IN THE EVENT OF CONFLICTING STANDARDS OR SPECIFICATIONS, THE MORE RESTRICTIVE SHALL APPLY OR SHALL BE DETERMINED BY THE PROJECT ENGINEER. NO EXCEPTIONS TO STANDARDS, OR THE ISPCW ARE PERMITTED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE PROJECT ENGINEER.
2. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
3. THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS AND SPECIFICATIONS, CAREFULLY EXAMINE ALL OF THE CONTRACT DOCUMENTS, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART AND/OR HIS NEGLIGENCE AND/OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE.
4. ALL EXISTING UTILITY LOCATIONS SHOWN IN THESE PLANS ARE APPROXIMATE ONLY AND MUST BE VERIFIED. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. EXACT LOCATION OF UNDERGROUND UTILITIES CAN ONLY BE DETERMINED BY PHYSICAL EXCAVATION OF THE UTILITY LINE AND SURVEYING THE LOCATION OF THE PIPE OR CONDUIT. CALL "DIG LINE": 48 HOURS IN ADVANCE OF COMMENCING WORK. AT 1-800-342-1585.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREETS, SIDEWALKS, OR EXISTING STRUCTURES DURING THE CONSTRUCTION OF THIS PROJECT, AND SHALL REPAIR SUCH DAMAGE TO THE SATISFACTION OF THE GOVERNING AGENCY, AT NO EXTRA COST TO THE OWNER.
6. ALL EXISTING CONDITIONS AND STRUCTURES, NOT SPECIFICALLY NOTED FOR REMOVAL, SHALL BE RETAINED AND PROTECTED. EXISTING CONDITIONS AND STRUCTURES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. ALL CONTRACTORS WORKING WITHIN THE PUBLIC RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM THE AUTHORITY HAVING JURISDICTION AT LEAST 24-HOURS PRIOR TO ANY CONSTRUCTION.
8. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE I.S.P.W.C. NO EXCEPTIONS TO THESE STANDARDS WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE GOVERNING AGENCY.
9. ALL WORK IS TO BE PERFORMED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS.
10. SITE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO COMPLETE THE WORK, UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES.
12. THE LAND GROUP, INC. DOES NOT AND CANNOT GUARANTEE THE ACCURACY OF WORK DONE BY OTHERS AND INCLUDES THIS INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE OWNERS' REPRESENTATIVE TO REQUEST CLARIFICATION OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND INFORMATION SHOWN ELSEWHERE. IN THE EVENT THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT SUCH CLARIFICATION FROM THE OWNERS REPRESENTATIVE, HE SHALL BE LIABLE FOR THE COST OF CORRECTIVE WORK AND SHALL REPAIR OR RECONSTRUCT THE FAULTY WORK TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING THE REQUIRED MATERIALS, EQUIPMENT AND MANPOWER NECESSARY FOR PUBLIC SAFETY AND TRAFFIC CONTROL, INCLUDING PEDESTRIAN TRAFFIC, WITHIN THE PROJECT LIMITS AND ON THE APPROACHES TO THE PROJECT.
14. CONTRACTOR SHALL HAVE A STAMPED, APPROVED SET OF PLANS, A COMPLETE COPY OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (I.S.P.W.C.), AND CITY OF RICHFIELD STANDARDS AT THE WORK SITE AT ALL TIMES.
15. CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON-SITE AT ALL TIMES AND RECORD AS-BUILT INFORMATION DURING THE COURSE OF CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE MARKED UP AS-BUILT PLANS TO THE DESIGN ENGINEER FOR PREPARATION AND SUBMITTAL OF RECORD DRAWINGS.
16. A PRECONSTRUCTION CONFERENCE SHALL BE HELD A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF ALL WORK INCLUDING WORK ON CITY UTILITIES AND HIGHWAY INFRASTRUCTURE. THE CONSTRUCTION MANAGER SHALL COORDINATE THE PRECONSTRUCTION CONFERENCE. THE DESIGN ENGINEER, REPRESENTATIVE FROM THE CITY PUBLIC WORKS DEPARTMENT, ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS SHALL BE PRESENT.

Grading and Drainage Notes:

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPROVED SET OF PLANS AND PROJECT SPECIFICATIONS.
2. UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS ARE SHOWN IN GENERAL LOCATION ONLY. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL FOR FIELD LOCATES IN ACCORDANCE WITH RCW 19.122 PRIOR TO EXCAVATION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL DAMAGES AND ALL LOCATES. ANY ANOMALIES SHALL BE RECORDED AND THE CITY ENGINEER NOTIFIED.
3. DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN THE SUBGRADE IN SUCH A CONDITION THAT IT WILL BE WELL-DRAINED AT ALL TIMES. DRAINAGE DITCHES SHALL BE CONSTRUCTED AS NECESSARY TO AVOID DAMAGE TO THE CONSTRUCTION SITE.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION AND ELEVATION OF ALL TIE IN POINTS PRIOR TO CONSTRUCTION AND SHALL CONTACT THE DESIGN ENGINEER WITH ANY DISCREPANCIES. THIS SHALL BE FOR ALL SURFACE AND SUBSURFACE CONNECTIONS.
5. STORM DRAIN INSPECTIONS WILL BE BY THE ENGINEER OR THEIR QUALIFIED REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO CONSTRUCTION.
6. INSTALL WARNING TAPE DURING STORM DRAIN LINE TRENCH BACKFILL PER SPECIFICATION SECTION 31 20 00. MARKING TAPE SHALL BE LABELED: "CAUTION - BURIED STORM SEWER LINE BELOW" IN 1-1/2 INCH MINIMUM BLACK LETTERING.
7. STORM DRAIN INSPECTIONS WILL BE THE DESIGN ENGINEER OR THE QUALIFIED REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO CONSTRUCTION.
8. FINISH GRADE CONCRETE SLOPES ADJACENT TO THE BUILDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
9. REFER TO WATER NOTE 13 FOR POTABLE AND NON-POTABLE SEPARATION REQUIREMENTS.

Water Notes:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED SET OF PLANS AND PROJECT SPECIFICATIONS.
2. RICHFIELD SHALL OWN AND MAINTAIN ALL MAINLINES AND SERVICES UP TO AND INCLUDING THE WATER METER. ALL SYSTEM COMPONENTS LOCATED DOWNSTREAM OF THE WATER METER SHALL BE OWNED AND MAINTAINED BY THE RICHFIELD SCHOOL DISTRICT. THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH CITY REQUIREMENTS AND/OR THE APPROVED SET OF PLANS AND PROJECT SPECIFICATIONS AS APPLICABLE.
3. ALL MATERIALS INSTALLED ON THE CITY'S WATER SYSTEM SHALL CONFORM TO RICHFIELD CITY'S MATERIALS LIST. ALL MATERIALS INSTALLED ON THE SCHOOLS' WATER SYSTEM SHALL CONFORM TO THE PROJECT SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR MATERIALS AND/OR EQUIVALENTS TO THE ENGINEER FOR APPROVAL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
4. ALL TEES, PLUGS, CAPS, BENDS, AND OTHER LOCATIONS WHERE UNBALANCED FORCES EXIST SHALL BE SECURED AND RESTRAINED WITH MEGALUG, PSCIP THRUST LOCK OR CITY APPROVED EQUAL JOINT RESTRAINT SYSTEM.
5. ALL TRENCH EXCAVATION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). THE CONTRACTOR SHALL BECOME FAMILIAR WITH THOSE REQUIREMENTS AND SHALL BE RESPONSIBLE FOR FULL COMPLIANCE.
6. PIPE BEDDING AND BACKFILL SHALL COMPLY WITH ISPCW AND PROJECT SPECIFICATIONS.
7. ALL WATER MAINS SHALL BE PVC PIPE CONFORMING TO THE PROVISIONS OF AWWA C900. ALL PIPES SHALL BE INSTALLED WITH A NO. 12 DIRECT BURIAL TRACER WIRE PLACED ALONG TOP OF THE MAIN. THE TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES AND SHALL BE EXTENDED ALONG THE OUTSIDE OF THE LOWER PORTION OF THE VALVE BOXES AND ALONG THE INSIDE OF THE UPPER PORTION. DESIGN COVER SHALL BE 54" AND MINIMUM COVER DEPTH FOR ALL WATER MAINS SHALL NOT BE LESS THAN 48" FROM FINISHED GRADE TO TOP OF THE PIPE.
8. ALL SERVICE LINES 2" AND SMALLER SHALL BE CONSTRUCTED CLASS 150 POLYETHYLENE (PE) PIPE CONFORMING TO ASTM D 2737, SDR 9, IRON PIPE SIZE.
9. VALVE RISERS, WATER METER BOX AND LIDS SHALL BE TRAFFIC RATED AND CONCRETE COLLARS SHALL BE PROVIDED FOR ALL WATER VALVE BOXES IN ASPHALT IN ACCORDANCE WITH RICHFIELD CITY STANDARDS. THE CONTRACTOR SHALL FIELD VERIFY ALL VALVE BOX LID AND METER LID ELEVATIONS TO ASSURE THE LID ELEVATIONS MATCH FINAL GRADE.
10. ALL WATER LINES ARE TO BE CONSTRUCTED AS SHOWN IN PLANS UNLESS RELOCATED IN THE FIELD BY THE ENGINEER TO AVOID CONFLICT WITH OTHER UTILITIES OR SITE FEATURES. THE CONTRACTOR SHALL PROVIDE ALL TEES, BENDS, COUPLINGS, HARDWARE, LABOR, ETC. TO CONSTRUCT HORIZONTAL AND VERTICAL BENDS IN THE PIPE AS NEEDED TO MEET THE REQUIRED ALIGNMENT, GRADE AND COVER.
11. PIPE LENGTHS SHOWN ARE NOT EXACT. ACTUAL INSTALLATION LENGTHS MAY VARY SLIGHTLY. LENGTHS ARE SHOWN FOR GENERAL INFORMATION ONLY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS WATER SERVICE TO ALL EXISTING WATER USERS AFFECTED BY CONSTRUCTION.
13. MINIMUM VERTICAL CLEARANCE BETWEEN POTABLE AND NON-POTABLE MAIN LINE AND SERVICE LINE CROSSINGS SHALL BE 18 INCHES. MINIMUM HORIZONTAL CLEARANCE BETWEEN POTABLE AND NON-POTABLE MAIN LINES AND SERVICE LINES SHALL BE 10 FEET, WHERE 10-FT HORIZONTAL SEPARATION CANNOT BE MAINTAINED. MAINTAIN 18" VERTICAL SEPARATION BETWEEN POTABLE AND NON-POTABLE MAIN AND SERVICE LINES. REFERENCE ISPCW FOR ADDITIONAL POTABLE/NONPOTABLE CROSSING REQUIREMENTS.
14. ALL UNDERGROUND UTILITIES (GAS, TELEPHONE, POWER, CABLE TV, ETC.) MUST HAVE AT LEAST 3 FEET OF HORIZONTAL SEPARATION AND 12 INCHES OF VERTICAL SEPARATION FROM WATER MAIN LINES.
15. INSTALL WARNING TAPE DURING WATER LINE TRENCH BACKFILL PER SPECIFICATION SECTION 31 20 00. MARKING TAPE SHALL BE LABELED: "CAUTION - BURIED WATER LINE BELOW" IN 1-1/2 INCH MINIMUM BLACK LETTERING.

Sewer Notes:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED SET OF PLANS AND PROJECT SPECIFICATIONS.
2. FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY RICHFIELD CITY PUBLIC WORKS DEPARTMENT AND THE PROJECT ENGINEER OR THEIR REPRESENTATIVE.
3. SEWER INSPECTIONS WILL BE BY RICHFIELD PUBLIC WORKS DEPARTMENT AND THE ENGINEER. SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR MATERIALS AND/OR EQUIVALENTS TO THE ENGINEER FOR APPROVAL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
5. REFER TO WATER NOTE 13 FOR POTABLE AND NON-POTABLE SEPARATION REQUIREMENTS.

General Notes:

1. TECHNICAL SPECIFICATIONS ARE AN INTEGRAL PART OF THESE DRAWINGS. UPON SUBMITTAL OF A BID PRICE BY THE CONTRACTOR, IT IS RECOGNIZED THAT THE CONTRACTOR HAS REVIEWED THE TECHNICAL SPECIFICATIONS AND THE CONTRACTOR AGREES TO ABIDE BY THE REQUIREMENTS AND CONDITIONS CONTAINED THEREIN.
2. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK INDICATED IN THESE PLANS AND SPECIFICATIONS. ANY ITEM INDICATED IN THESE PLANS, BUT NOT ITEMIZED IN THE BID DOCUMENTS, WILL BE INCLUDED UNDER A BID SCHEDULE ITEM TO WHICH IT MOST PERTAINS.
4. THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS AND SPECIFICATIONS, CAREFULLY EXAMINE ALL OF THE CONTRACT DOCUMENTS, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART AND/OR HIS NEGLIGENCE AND/OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE.
5. THE CONTRACTOR SHALL CALL FOR FIELD LOCATES IN ACCORDANCE WITH RCW 19.122 PRIOR TO EXCAVATION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL DAMAGES AND ALL LOCATES. ANY ANOMALIES SHALL BE RECORDED AND THE CITY ENGINEER NOTIFIED.
6. ALL MATERIALS AND FINISHES SHALL BE AS PER DRAWINGS, DETAILS AND SPECIFICATIONS. SOME MATERIALS MAY REQUIRE SEVERAL WEEK ORDER LEAD TIME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY AND ALL ORDERING LEAD TIMES, AND PROVIDING REQUIRED MATERIALS AT THE PROJECT SITE IN A TIMELY MANNER. NO UNAPPROVED SUBSTITUTIONS WILL BE ALLOWED. CONTACT THE LANDSCAPE ARCHITECT OR PROJECT ENGINEER IMMEDIATELY IF A SPECIFIED MATERIAL IS NOT AVAILABLE.
7. ALL WORK IS TO BE PERFORMED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO COMPLETE THE WORK, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES.
10. THE LAND GROUP, INC. DOES NOT AND CANNOT GUARANTEE THE ACCURACY OF WORK DONE BY OTHERS AND INCLUDES THIS INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE OWNERS' REPRESENTATIVE TO REQUEST CLARIFICATION OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND INFORMATION SHOWN ELSEWHERE. IN THE EVENT THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT OFFICIAL CLARIFICATION FROM THE OWNERS REPRESENTATIVE, HE SHALL BE LIABLE FOR THE COST OF CORRECTIVE WORK AND SHALL REPAIR OR RECONSTRUCT THE FAULTY WORK TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING THE REQUIRED MATERIALS, EQUIPMENT AND MANPOWER NECESSARY FOR PUBLIC SAFETY AND TRAFFIC CONTROL WITHIN THE PROJECT LIMITS AND ON THE APPROACHES TO THE PROJECT PER PARMA CITY STANDARDS AND SPECIFICATIONS.
12. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
13. IF ANY ARCHEOLOGICAL, CULTURAL OR HISTORICAL RESOURCES, OR ARTIFACTS OR OTHER FEATURES ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION ANYWHERE ON THE PROJECT SITE, WORK SHALL BE SUSPENDED IN THAT LOCATION UNTIL A QUALIFIED PROFESSIONAL ARCHEOLOGIST ASSESSES THE SIGNIFICANCE OF THE DISCOVERY. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY FINDS. IN CONSULTATION WITH THE ARCHEOLOGIST AND THE GOVERNING AGENCY, APPROPRIATE MEASURES FOR PRESERVATION SHALL BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF WORK.
14. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE BASED IN PART BY INFORMATION PROVIDED BY OTHERS. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES, HOWEVER THE LAND GROUP, INC. OR ITS CONSULTANTS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
15. PROPERTY PINS AND MONUMENTS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE RESET BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.
16. SHARED UTILITY TRENCHES SHALL NOT BE PERMITTED UNLESS PRIOR WRITTEN APPROVAL IS PROVIDED BY THE ENGINEER OR ARCHITECT.

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ARCHITECTS, P.A.
KEMENICK, WASHINGTON • OREGON



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DRAWN BY
RTH

CHECKED BY
JUG

JOB NUMBER
120716

REVISIONS

NO.	DESCRIPTION



THE LAND GROUP
TUGR 118184



PROFESSIONAL ENGINEER
REGISTERED
12568
04/22/2019
STATE OF IDAHO
JAMES W. DUFFY

RICHFIELD 2018 BOND PROJECTS

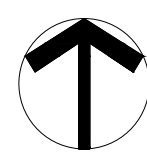
555 N. TIGER DRIVE
RICHFIELD, IDAHO

DATE
04/19/2019

SHEET NAME

NOTES

SHEET
C3.00



Gymnasium Grading Plan

Horizontal Scale: 1" = 20'



Sheet Notes:

- CONTRACTOR SHALL COMPLY WITH GENERAL NOTES, PLAN SHEET C1.00.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF BOISE STANDARDS FOR PUBLIC WORKS CONSTRUCTION AND THE LATEST EDITION OF IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW). SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES, THE CITY ENGINEER SHALL BE NOTIFIED AND WILL DETERMINE WHICH STANDARD APPLIES.
- SEE SHEETS C2.50 SITE DETAILS.
- EXISTING AND PROPOSED CONTOURS ARE AT A 1-FT INTERVAL.
- SPOT ELEVATIONS INDICATE TOP OF FINISH GRADE SURFACE AS NOTED BY THE FOLLOWING:
 - TA-TOP OF ASPHALT/ASPHALT FLUSH WITH CONCRETE (AS SHOWN)
 - TC-TOP OF CONCRETE
 - TG-TOP OF GRAVEL
 - RIM-RIM OF STRUCTURE
 - FG-FINISH GRADE
 - ME-MATCH EXISTING
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR DAMAGES CAUSED BY HIS FAILURE TO PRECISELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CALL DIGLINE AT 1-800-342-1585.
- ALL STORM DRAIN PIPE SHALL BE N-12 ADS, PVC ASTM D 3034 PIPE, OR APPROVED EQUAL.
- LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2.0% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1.0%.

Keynotes:

- INSTALL 48-IN MANHOLE WITH FLAT LID PER ISPCW SD-611. INSTALL FRAME AND COVER PER ISPCW SD-617 WITH GRATED LID. INSTALL NYLOPLAST ENVIROHOD PER MANUFACTURER'S REQUIREMENTS.
- CONSTRUCT SEEPAGE BED PER DETAIL 1/C4.50.
 - 10' W x 54' L x 3' D
 - 8" PERFORATED I.E. = 4304.17
 - TOP OF ROCK ELEVATION = 4305.84
 - BOTTOM OF ROCK ELEVATION = 4302.84
- INSTALL MONITORING WELL PER DETAIL 2/C4.50.
- CONSTRUCT DRAINAGE SWALE INFILTRATION WINDOW PER DETAIL 3/C4.50.
 - 2' W x 132' L x 2' D
 - 2' W x 31' L x 2' D

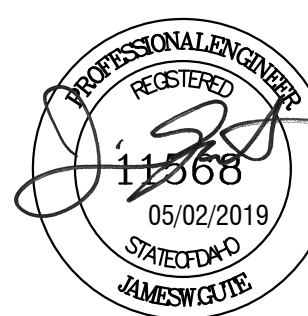


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RTH

CHECKED BY
JWG

JOB NUMBER
120716

REVISIONS



RICHFIELD 2018 BOND PROJECTS

555 N. TIGER DRIVE
RICHFIELD, IDAHO

DATE
04/19/2019

SHEET NAME

GYMNASIUM
GRADING
PLAN

SHEET

C4.00

Black Paperwork 10/2019 12/24/21 11 PM

H

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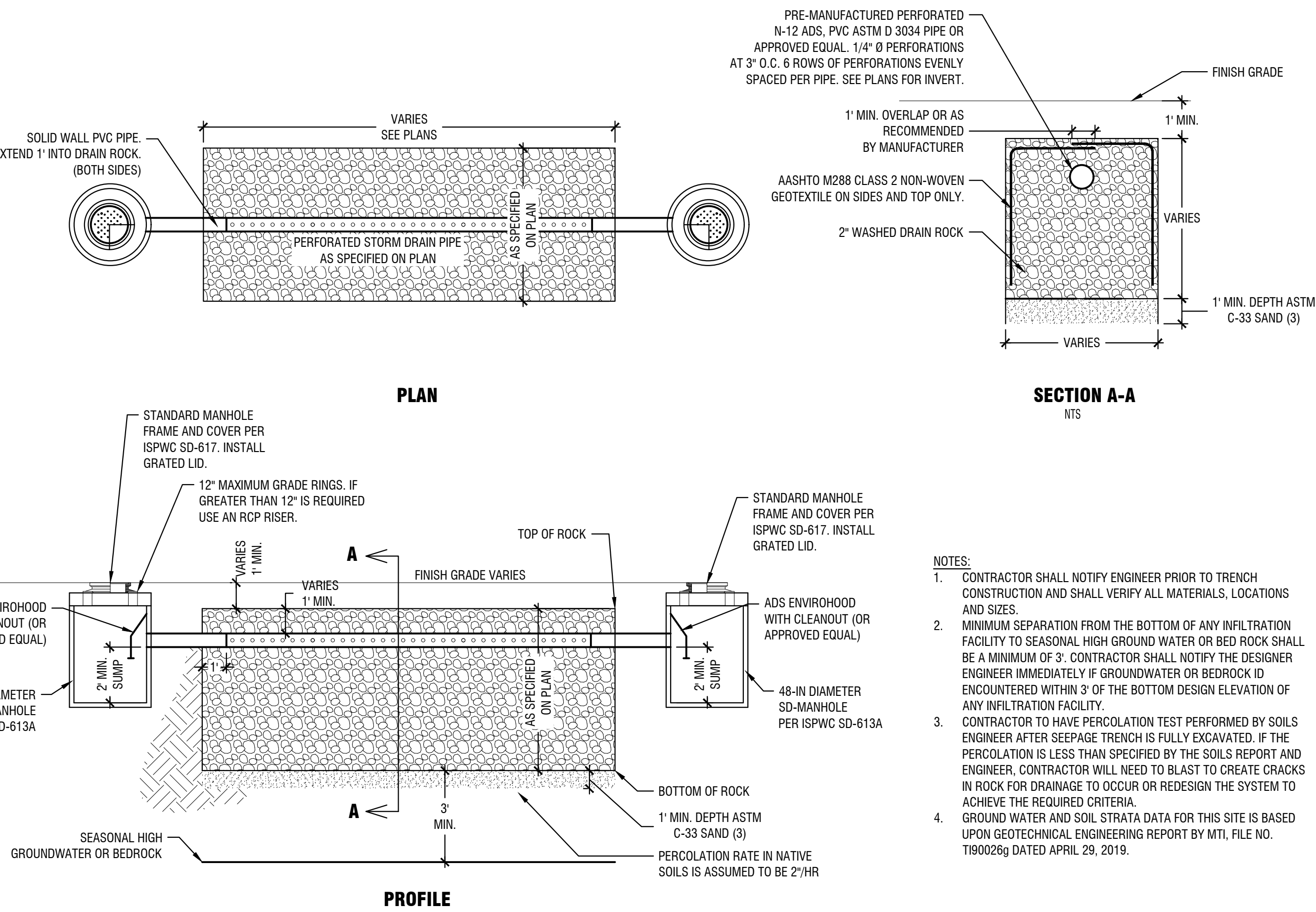
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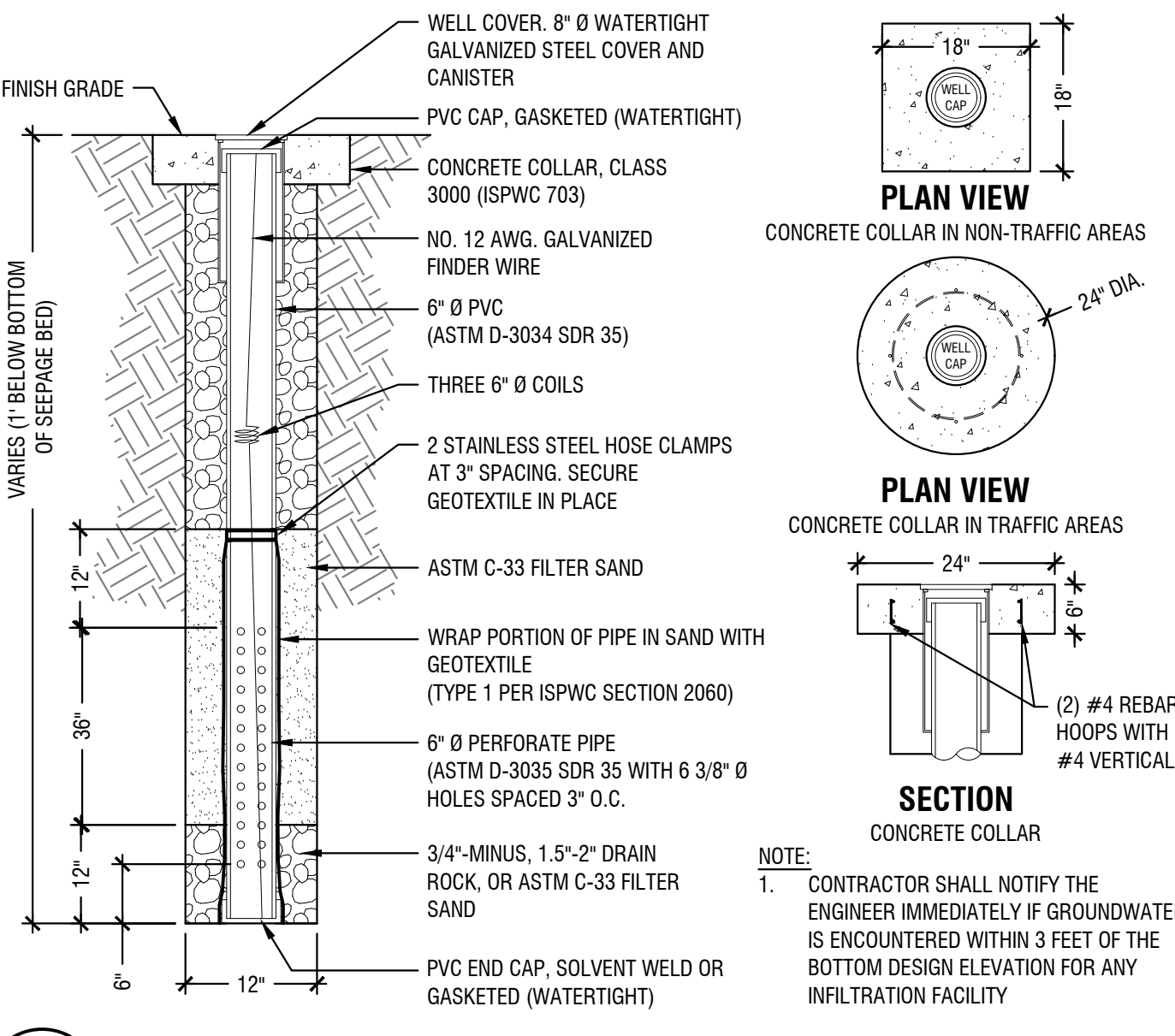
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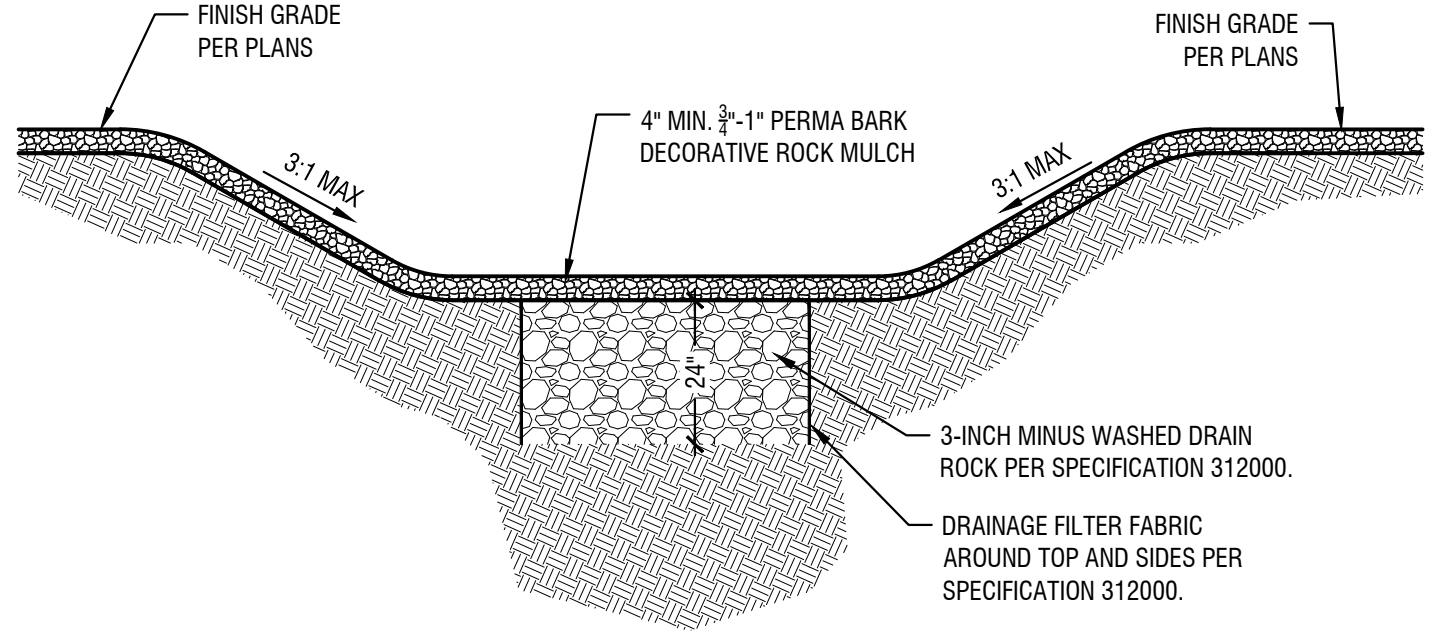
A



1 Seepage Bed
Scale: NTS



2 Monitoring Well
Scale: NTS



3 Drainage Swale
Scale: NTS

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KEMENICK, WASHINGTON & OREGON
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DRAWN BY	RTH
CHECKED BY	JWG
JOB NUMBER	180716
REVISIONS	

THE LAND GROUP
T.L.G. 118184

PROFESSIONAL ENGINEER
REGISTERED
11068
05/02/2019
STATE OF IDAHO
JAMES W. CLAYTON

RICHFIELD 2018 BOND PROJECTS

555 N. TIGER DRIVE
RICHFIELD, IDAHO

DATE
04/19/2019

SHEET NAME
DRAINAGE DETAILS

SHEET
C4.50

Horizontal Scale: 1" = 20'



1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 ISWPC.
2. ALL STORM DRAINAGE FACILITIES SHALL BE INSPECTED BY THE DESIGN ENGINEER. CONTACT THE LAND GROUP AT (208) 939-4041. 24 HOURS ADVANCE NOTICE IS REQUIRED.
3. ALL STORM DRAIN PIPE SHALL BE ASTM D 3034 SDR 35 PVC OR AASHTO M294 TYPE S HDPE, AS NOTED ON PLAN.
4. ENSURE POSITIVE DRAINAGE TO ALL DRAINAGE STRUCTURES WITH GRATED LIDS.
5. CONTRACTOR SHALL VERIFY ALL CONNECTION POINTS IN THE FIELD PRIOR TO INSTALLATION. CONTACT THE DESIGN ENGINEER WITH ANY DISCREPANCIES.

1. SEE MECHANICAL PLANS FOR CONTINUATION INTO BUILDING.
2. INSTALL SEWER SERVICE PER ISPPW STANDARD DRAWING SD-511.
3. INSTALL 4" CLEANOUT PER ISPPW SD-506A. 100-FT MAX. SPACING BETWEEN CLEANOUTS.
4. CONNECT TO EXISTING SANITARY SEWER MAIN AT THIS APPROXIMATE LOCATION. INFORM ENGINEER OF ANY DISCREPANCIES.

1. MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE WATER LINES PER ISPCW STANDARD DRAWING NO. SD-407.
2. INSTALL 2" WATER METER PER ISPCW SD 402.
3. SEE MECHANICAL FOR CONTINUATION INTO BUILDING.
4. INSTALL FIRE-SERVICE LINE IN COORDINATION WITH FIRE SPRINKLER DESIGN.
5. 6"x12"x12" TEE, 6" GATE VALVE BY CITY OF RICHFIELD. NOT IN CONTRACT.
6. 4"x12"x12" TEE BY CITY OF RICHFIELD. NOT IN CONTRACT.
7. PROPOSED 12" WATER LINE BY CITY OF RICHFIELD. NOT IN CONTRACT.

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JOB NUMBER
18076

REVISIONS



RICHFIELD 2018 BOND PROJECTS

**555 N. TIGER DRIVE
RICHFIELD, IDAHO**

DATE
04/19/2019

SHEET NAME

GYM UTILITIES

SHEET

C5.00